
Chapter 21.12 WILLIAM LYON HOMES ARBORETA SPECIFIC PLAN

Article I. Executive Summary

21.12.010 Purpose and objectives.

A. The Arboreta specific plan document is intended to provide for the orderly and efficient development of the specific plan area in accordance with the provisions of the city of Glendora general plan. It contains development standards and design guidelines which apply only to property within the specific plan area that are intended to implement the goals, objectives and policies of the city's general plan. In developing the Arboreta specific plan, the land development concept has been designed with the following goals in mind:

1. To implement applicable general plan policies by presenting more detailed direction for future development.
2. To transform the existing manufacturing/research and development uses into an aesthetic living environment, more compatible with the surrounding residential character and adjacent schools.
3. To provide for single-family detached and attached housing opportunities responsive to local and regional needs, while enhancing local property values and residential character.
4. To establish zoning standards and implementation mechanisms applicable solely to the Arboreta project.
5. To provide a desirable residential community that offers a mix of housing types, open space amenities, including a linear public park, private neighborhood pool, tot lot and oak preservation, as well as privately maintained streets and landscaping.
6. To establish a compatible interface with adjacent land uses.

B. Implementation of the Arboreta specific plan provides the parameters to establish a cohesive infill development. This will be achieved by coordinating the land use, intensity, scale and aesthetic characteristics of development with the goals and policies of the general plan. (Ord. 1835 § 2 Exh. A, 2006)

21.12.020 Public benefits.

The specific plan process allows for modification of city standards, if superior design quality is achieved, benefiting the local community and city. The Arboreta project offers the following public benefits:

1. Linear public park site;
2. Preservation of existing oak trees;
3. Private maintenance of streets and interior open spaces;
4. Additional housing opportunities;
5. High quality architectural design and product mix, enhancing surrounding property values;
6. Creation of a compatible residential land use, buffering railroad noise impacts from existing residences and schools;
7. Additional property tax revenue to the city. (Ord. 1835 § 2 Exh. A, 2006)

21.12.030 Authority for specific plans.

A. The Arboreta specific plan is prepared and established under the authority granted to the city of Glendora in accordance with the requirements of the California Government Code, Title 7, Division 1, Chapter 3, Article 8, Sections 65450 and 65457. The California Government Code authorizes cities to adopt specific plans by resolution or by ordinance. A public hearing is required, after which the specific plan must be adopted by the Glendora city council for final approval.

B. The Arboreta specific plan is the regulatory document which will serve as the zoning regulations for the property. Some elements of the development program will also be enforced through conditions, covenants and restrictions (CC&R's) established in conjunction with the subdivision map for the property. If there is a conflict found between this specific plan and the city's Municipal Codes, the contents of this specific plan shall prevail. (Ord. 1835 § 2 Exh. A, 2006)

21.12.040 Relationship to CEQA.

A. Environmental documentation (EIR) was prepared for the Arboreta site. Many land use alternatives were evaluated for their environmental impacts, consistent with the California Environmental Quality Act. Mitigation has been adopted which will reduce identified impacts to a level of "less than significant."

B. Additionally, a general plan amendment (GPA04-01), zone amendment (ZA04-03), zone change (ZC04-02), subdivision (SUP04-02), development plan review (DPR04-24), development plan review (DPR04-31) and miscellaneous (M05-71) are processed for a development agreement. (Ord. 1835 § 2 Exh. A, 2006)

21.12.050 Project location.

A. The project site is located within the city of Glendora in Los Angeles County, in Southern California, as shown in Exhibit 1, Regional Location Map, and Exhibit 2, Local Vicinity Map. The city of Glendora is generally located twenty-one miles northeast of downtown Los Angeles, and is bounded by the cities of Azusa to the west, Covina to the south, and San Dimas to the east, as well as unincorporated portions of Los Angeles County.

Exhibit 1 REGIONAL LOCATION MAP



Exhibit 2
LOCAL VICINITY MAP



B. The 27.6-acre specific plan site lies within the southwest portion of Glendora. The site is bordered on the south by the MTA Railroad right-of-way, single-family detached residential, and the Rain Bird manufacturing facility; on the west by North Barranca Avenue, Monrovia Nurseries operations and single-family detached residential; on the north by single-family detached residential, La Fetra Elementary School and Sandburg Middle School and on the east by North Grand Avenue, single-family detached residential, and commercial uses, as shown on Exhibit 4, Existing/Surrounding Land Use. Access to the site from the surrounding region is provided by the 210 Freeway via Grand Avenue. (Ord. 1835 § 2 Exh. A, 2006)

21.12.060 Project overview.

The Arboreta community concept would transform the current manufacturing/research and development uses on the site into a gated residential community with approximately one hundred forty homes on 27.6 acres. Primary access will be provided from Grand Avenue. Planned residential uses account for the majority of the community, approximately 21.6 acres of the total 27.6 gross acre site with the balance being improved as a linear public park along the entire southern boundary and MTA right-of-way. Approximately sixteen existing oak trees in the central portion of the site will be preserved in a 1.4-acre passive open space area. The product mix includes fifty-three single-family detached homes, on average four thousand six hundred square-foot lots and floor plans ranging from two thousand two hundred ninety-eight square feet to two thousand five hundred forty-eight square feet in size. Twenty-six of the fifty-three single-family detached homes (forty-nine percent) are single story homes. In addition, the product mix also includes eighty-seven attached homes included in twenty-nine townhome buildings. Small, interior residential neighborhoods will be accessed from an east/west local “theme” street, providing direct access to detached homes and private drives for the triplex town-homes. The appearance of the townhomes will be that of a large single-family estate home and provide enhanced elevations as viewed from off-site.

The townhome units include floor plans ranging from one thousand three hundred thirty-five square-feet to one thousand nine hundred twenty square-feet in size. The gross density of the specific plan is 5.1 du/ac, including the linear public park.

As previously mentioned, a 4.6-acre linear park is planned along the southern boundary of the site. The park land would help serve as a connecting link from Foothill and Grand to Barranca and the Monrovia Nursery properties. Included in the linear park will be a twelve-foot multipurpose trail and associated exercise stations. All park design and improvements would be installed by the developer and maintained by the Arboreta HOA. (Ord. 1835 § 2 Exh. A, 2006)

21.12.070 Community outreach.

Community outreach provides residents and interested parties an opportunity to review and comment on the project, work collaboratively with the developer and provide input on solutions/mitigations of perceived and identified impacts. This outreach is an important component of the Arboreta specific plan.

Community ascertainment, a series of third-party interviews with key community stakeholders, was conducted to gain a preliminary idea of the neighborhood issues and concerns. Interviews were conducted with adjoining residents, residents in leadership roles from La Fetra Elementary School and Sandburg Middle School, as well as the schools’ principals and school district officials, given the proximity of the schools to the project. Additional meetings were held during the public review process including the scoping session for the environmental impact report, as well as outreach meetings with various neighborhoods to provide information on the plan and solicit further input prior to the public hearing process. (Ord. 1835 § 2 Exh. A, 2006)

21.12.080 Specific plan document organization.

The Arboreta specific plan defines a vision and establishes guidelines for the development of the site. The basic approach for preparing this specific plan has been to recognize the interrelationship between land use, design,

regulation and sound economic, market and financial considerations. It should be noted that all statistics (acreage, densities ect.) have been rounded to the tenth.

The specific plan is arranged into seven articles as follows:

Article I Executive Summary. This chapter includes a discussion on the intent and purpose of the specific plan, the authority and scope, a description of the site location, the project objectives, and an overview of the project.

Article II Planning Context. This chapter provides a summary of the existing conditions affecting the specific plan area, including existing city land use designations, existing and surrounding land use discussion and a summary of the existing infrastructure within the project area.

Article III Specific Plan Elements. Forming the core of the specific plan document, this article presents the land use plan for the project, including proposed land use designations, and discusses the proposed circulation, grading and infrastructure of the land use plan.

Article IV Development Standards. This article specifies the permitted and conditionally permitted uses in the proposed land use designation, and specifies standards for development, such as lot coverage, building height, setbacks, etc.

Article V Design Guidelines. Article V details a creative, yet flexible set of guidelines and design criteria for site planning, architecture and landscaping. These provide direction for streetscape improvements, project identification, hardscape elements and architectural guidelines.

Article VI Implementation. This article contains provisions for the financing and maintenance of improvements, a process for implementation of this specific plan and procedures for amending the specific plan. (Ord. 1835 § 2 Exh. A, 2006)

Article II. Planning Context

21.12.090 Jurisdictional considerations.

A. General Plan. The city of Glendora general plan designations for the site are partially Light Industrial (LI) and partially Industrial Park (IP). These designations are intended to encourage general industrial and industrial park uses, including light manufacturing, assembly, fabricating and warehousing. A general plan amendment to medium density residential will be processed concurrently with the specific plan. The project proposes a gross density of 5.1 du/gross ac, which would be included in the general plan designation of medium residential. The medium density category allows for multiple-family, attached housing, and a variety of housing types including townhomes, duplexes, patio homes and single-family detached homes. Upon approval, the Arboreta project site will be subject to the design guidelines and development standards contained in this document as adopted or amended.

B. Parks Master Plan. In November 2000, the city of Glendora prepared a new parks master plan to assess the adequacy of existing park facilities and to project the need for new facilities, based on existing deficiencies and future growth. The Rain Bird Property was identified to potentially provide a five to seven acre park land dedication.

C. Zoning Ordinance. The site is currently zoned Limited Industrial (M-1A), and Industrial Park (IP) under the city's zoning code. These designations generally allow for a range of manufacturing uses. A zone change to specific plan (SP) will be processed concurrently with the application package. A rezoning from limited industrial and industrial park to specific plan will be required in order to implement the project. The specific plan designation will allow single-family and multi-family residential units at an overall density of 5.1 units per gross acre and 6.09 dwellings units per net acre and 6.1 dwelling units per net acre. (Ord. 1835 § 2 Exh. A, 2006)

21.12.100 Existing conditions.

Existing physical site conditions on and directly adjacent to the subject site are illustrated in site photographs. Refer to Exhibits 3A, 3B and 3C, Existing Conditions.

**Exhibit 3A
EXISTING CONDITIONS**



Site entrance at Grand looking east toward Meda Ave. Future signal



Site entrance at Grand looking north toward Bennett Ave.



Corner of Grand and Poehlin



Looking northwest at south apex of site

**Exhibit 3B
EXISTING CONDITIONS**



Across Bennett, looking north toward existing residential



Looking north across Bennett from site, toward Sandberg Intermediate School



Looking from southwest corner of site east along railroad



From site looking west toward Monrovia Nursery

Exhibit 3C EXISTING CONDITIONS



Looking south across Bennett Avenue to existing residence
which backs up to the subject site



Looking south across Bennett Avenue to existing residence
which backs up to the subject site

- A. Land Uses on Site. Current land uses on the site include office, research and development, parking and unoccupied property. Refer to Exhibit 4, Existing/Surrounding Land Use.
- B. Surrounding Land Uses and Relationship. The Arboreta specific plan area is surrounded by the following land uses, as depicted on Exhibit 4, Existing/Surrounding Land Uses:
1. North: Two schools, single-family residential;
 2. East: Commercial center, single-family residential.
 3. South: MTA Railroad right-of-way, single-family residential, office and research and development uses.
 4. West: Monrovia Nursery operations, single-family residential.

Exhibit 4
EXISTING/SURROUNDING LAND USE



C. Traffic and Circulation. The project boundary is Barranca Avenue to the west, single-family homes and Bennett Avenue to the north and Grand Avenue to the east. Primary access to the specific plan area will be provided from Grand Avenue and secondary access will be from Bennett Avenue. A traffic study will be completed as part of the EIR process.

D. Aesthetics. The specific plan area contains significant unoccupied and underutilized properties including modular offices, a two-story office building and a product testing center. The specific plan addresses aesthetic and visual quality issues by providing a range of architectural style and significant landscaping for the site.

E. Public Utilities and Facilities. Provisions for electrical, natural gas, telephone and cable television services will be made prior to development of the specific plan area. All services are available and can be extended by each representative company to meet the project's needs. Utility providers are as follows:

Electrical: Southern California Edison Company;

Natural gas: Southern California Gas Company;

Telephone: Pacific Bell;

Cable television: Adelphia.

1. Water. The site will be served by the city of Glendora water system, which has facilities directly adjacent to the site. The existing water distribution system includes a ten-inch water main in Grand Avenue and a six-inch water main in Bennett Avenue. Additionally, an eight-inch water main traverses the site, starting at Grand Avenue and continuing westerly to vacated Valencia Street, and then extending along the vacated street area, connecting to the existing eight inch water main in Bennett Avenue.

2. Sewer. An eight-inch public sewer line exists in the specific plan area and is available to provide service to the project.
3. Drainage. In the pre-development condition, the specific plan area is divided into two distinct drainage areas, which, for the purpose of the study, are referred to as the West Basin and the East Basin. Both basins are comprised of natural and improved areas as depicted on Exhibit 11, Conceptual Drainage Plan (Existing). The improved impervious areas consist of the Rain Bird Corporation's headquarters, a manufacturing facility and associated paved parking areas, driveways and pathways. These improved areas encompass approximately seven acres of the 27.6-acre specific plan area, or twenty-five percent. This partially accounts for the minimal increase in runoff from the pre-developed to post-developed condition as summarized on Exhibit 11A, Post Development Hydrology.

A Los Angeles County flood control district facility, known as Hook Canyon Channel, crosses the central portion of the site from north to south within an easement along the alignment of vacated Valencia Street. The facility, as it crosses the property, is an underground ten feet by seven feet reinforced concrete box culvert. The hydrology study for Hook Canyon Channel indicates that all but a small portion of the west side of the specific plan area is planned to drain into the facility.

Generally, rainfall runoff from both the West and East Basin areas' sheet flows southerly off of the property onto the north half of the A.T. & S.F. Railroad right-of-way. Runoff from the East Basin flows westerly within the railroad and is intercepted by Hook Canyon Channel near the center of the property. Runoff from the West Basin area flows westerly within the railroad and is intercepted by an existing storm drain facility in Barranca Avenue. Since the railroad right-of-way presently accepts and conveys runoff from the specific plan area, and since the railroad right-of-way will continue to contribute runoff to both Hook Canyon Channel and the Barranca storm drain post-development, the acreage of the north half of the railroad right-of-way has been included in the study. (Ord. 1835 § 2 Exh. A, 2006)

21.12.110 Opportunities and constraints.

The land use plan presented in Article III Specific Plan Elements, was designed to incorporate existing physical site opportunities and constraints. These include:

- A. Opportunities.
 1. Surrounding residential character;
 2. Relatively flat terrain;
 3. Existing oak trees;
 4. Direct access to arterial roadways, 210 freeway;
 5. Walkability to two adjacent schools and commercial center.
- B. Constraint.
 1. Public utility easement;
 2. Existing general plan, zoning;
 3. Adjacent residential conditions/rear yards;
 4. Existing railroad right-of-way;
 5. Narrow frontage on Barranca;
 6. Irregular site configuration. (Ord. 1835 § 2 Exh. A, 2006)

Article III. Specific Plan Elements

21.12.120 Land use plan.

The proposed new community described in the Arboreta specific plan will represent a change from the site’s current office/research and development uses. The land use concept, shown in Exhibit 5, provides an overall vision and guide for the ultimate development of the site. The design approach includes a more compatible land use with the existing residential community than the industrial designation in the general plan and zoning. The architectural design and residential uses would upgrade the character of the surrounding residential area and help buffer existing noise impacts from the adjacent MTA Railroad right-of-way to existing residences and schools north of Bennett Avenue, and provide urgently needed housing. The plan proposes a gated community, creating a blend of residential product types in a pedestrian-friendly environment. A 1.4-acre oak tree preservation area is included in the center of the site, offering passive recreation opportunities. A private neighborhood pool area is located within the triplex area to serve the active recreational needs of the new Arboreta community. A tot lot, located on the perimeter of the oak preserve, will also serve the needs of the Arboreta community. A tot lot, located on the perimeter of the oak preserve, will also serve the needs of the Arboreta community. A 4.6-acre linear park is included along the southern boundary of the study area. This park land will be designed and improved by the applicant, and maintenance will be the responsibility of the community’s homeowner’s association. The specific plan allows a maximum of up to one hundred forty single-family detached and attached homes at an overall community density of 5.1 units per acre (6.1 units per acre net density without park), consisting of fifty-three single-family detached homes, and eighty-seven attached homes arranged in townhome clusters.

**Exhibit 5
ILLUSTRATED SITE PLAN**



Table 1, Proposed Land Use Summary, presents a statistical summary of the proposed development. It is the intent of the specific plan to give the vision, design intent and development standards unique and specific to this community. As such, the standards are different than those in conventional Glendora zones, but are based on establishing new communities in Southern California. The approval of this specific plan ensures both the city and

developer that an exceptional cohesive community will be created.

Table 1
Proposed Land Use Summary

Land Use Description	Total Dwelling Units	Gross¹ Acres	Gross Density
Single-family detached homes	53	13.6	3.9du/ac
Attached homes	86	9.4	9.4 du/ac
Neighborhood park		4.6	
Total	140	27.6	5.1 du/ac
Net density without park	140	23.0	6.1 du/ac

¹Gross average includes roadways, passive park, slopes.

The single-family detached homes will offer four floor plans, with up to four bedrooms, and square-footages ranging from two thousand two hundred ninety-eight square-feet to two thousand five hundred forty-eight square-feet. Two of the four plans are single-story homes concentrated along the existing Bennett residences and sprinkled throughout the neighborhood. All plans will include a two-car, enclosed garage with roll-up garage doors. The townhomes will include floor plans ranging from one thousand three hundred thirty-five square-feet to one thousand nine hundred twenty square-feet. All plans will have a two-car garage with roll-up garage doors, three bedrooms and two and a half baths, except for the carriage unit, which includes two bedrooms and two baths. The typical townhome building measures approximately seventy-two feet by seventy-two feet. The homes will typically be clustered around common open space and back into alleys, which function as the access drive to the homes. Each attached home will feature private open space within a patio. (Ord. 1835 § 2 Exh. A, 2006)

21.12.130 Circulation.

A. Project Circulation/Access. The circulation concept for the site consists of a system of private, internal streets to provide access to all residences. All streets are private except for the initial portion of the entry road, which will be public. The project is gated, with the primary entry on Grand Avenue and the secondary entry on Bennett Avenue, as shown in Exhibit 6, Circulation Plan. The primary entrance will feature accent trees and a special landscape treatment. The primary community entry road will consist of a short, gently curving street providing access to the neighborhood park to the south, and to the entry gate to the community to the west. The public road portion will end at a location indicated on the tentative map. The primary internal roadway will have a forty-foot wide pavement width (consisting of twelve-foot wide travel ways in each direction and eight-foot wide parking stalls on both sides of the street), and a ten-foot parkway (including a four-foot sidewalk at right-of-way and five-foot curb adjacent landscape parkway) on both sides of the street. The proposed on-site circulation system will include a series of private drives for the townhomes, taking direct access off the primary internal roadway.

Exhibit 7, Typical Street Sections, illustrates cross sections for the interior roadways, private drives and common drives for the project.

B. Parking Considerations. A total of two hundred eighty resident parking spaces (two per unit) and three hundred fifty nine guest parking spaces will be provided within the specific plan area. Resident spaces are all in enclosed garages. Guest spaces include a total of one hundred six driveway spaces in single-family lots and two hundred fifty-three on-street spaces. Overall, this total equates to approximately two and one-half

guest parking spaces per dwelling unit.

Exhibit 6 CIRCULATION PLAN

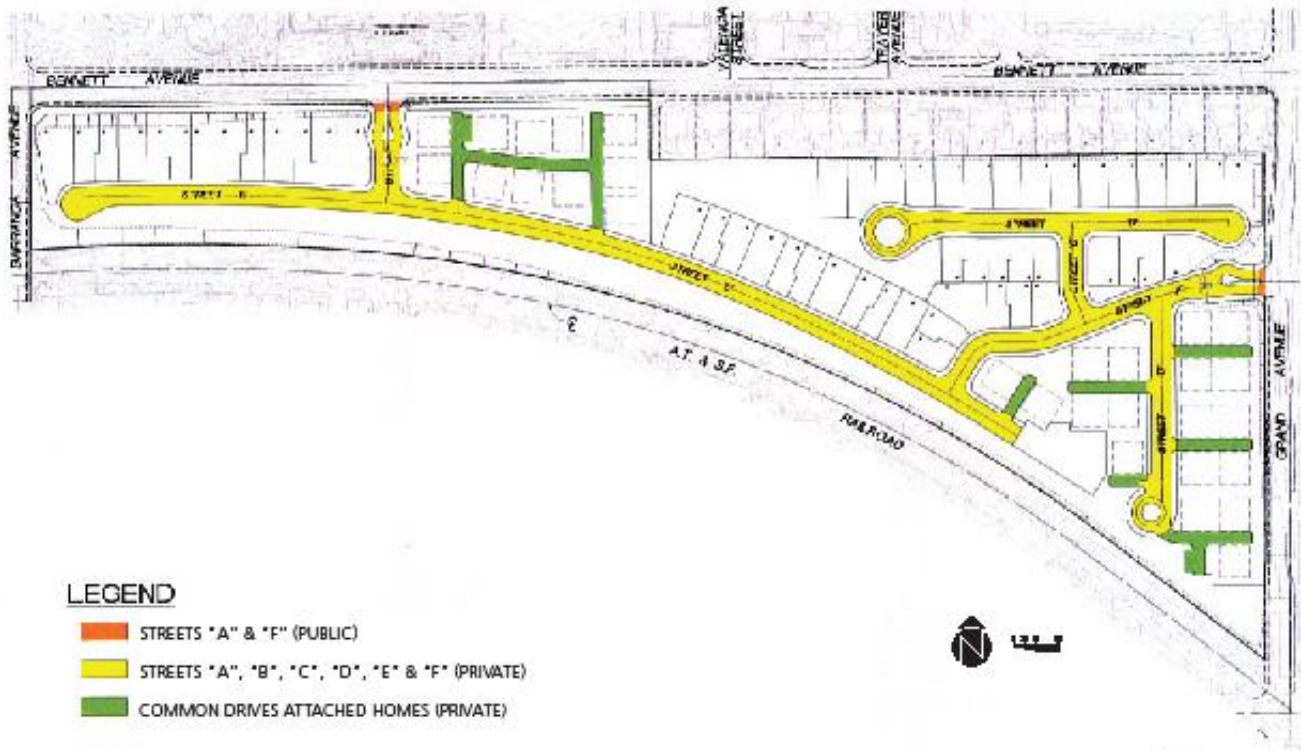
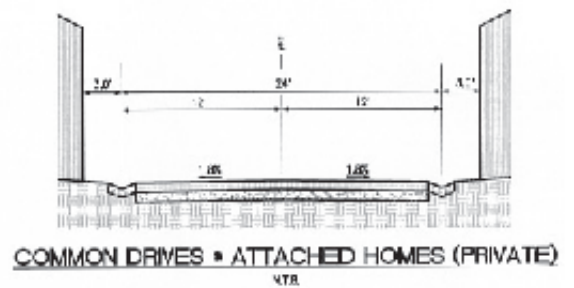
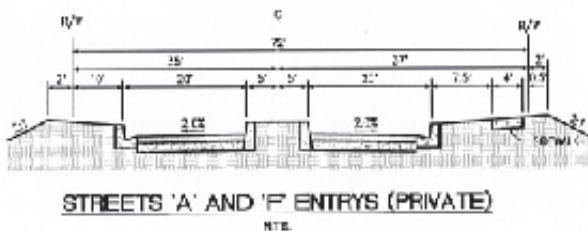
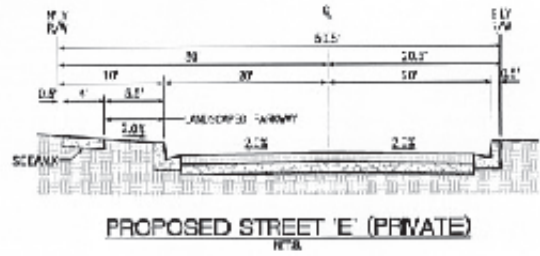
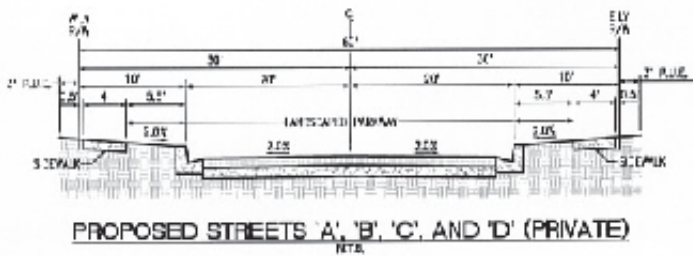


Exhibit 7 TYPICAL STREET SECTIONS

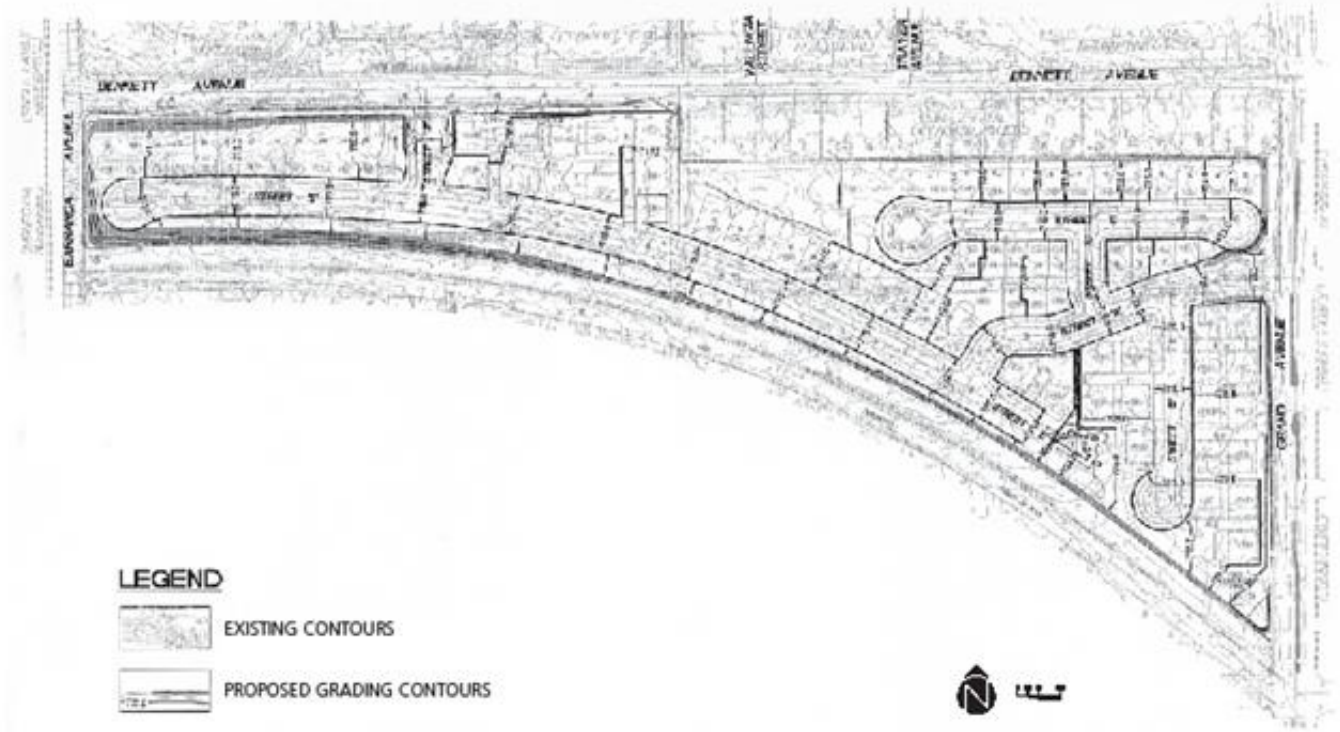


(Ord. 1835 § 2 Exh. A, 2006)

21.12.140 Conceptual grading plan.

A. A preliminary grading plan that accommodates the site plan requirements of the Arboreta community is illustrated on Exhibit 8, Conceptual Grading Plan.

**Exhibit 8
CONCEPTUAL GRADING PLAN**



In its existing state, the site is relatively flat, precluding the need for extensive grading. The grading concept was designed to ensure compatibility between the surrounding neighborhoods, particularly the eighteen homes on Bennett Avenue which back onto the northern property line and rear yards of the proposed single-family homes in the project. Specific goals and grading design considerations incorporated into Exhibit 8 and the tentative map for Arboreta include the following:

1. Lowered pad elevations adjacent to Bennett Avenue, to minimize the visual impact of proposed home sites. Pad elevations range from five to fourteen feet below adjacent street or lot grades.
2. Preservation of approximately sixteen existing California live oak trees within the passive park. All other healthy oak trees, as determined by the city arborist, shall be relocated on-site.
3. Preservation of the existing utility easement extending north/south, generally in the center of the site.
4. Raised pad elevations above the railroad right-of-way, between three to eighteen feet above the track elevation.

B. The total preliminary earthwork quantities for the cut and fill grading operation will be in the range of sixty-six thousand one hundred cubic yards of cut and fifty-two thousand nine hundred cubic yards of fill.

(Ord. 1835 § 2 Exh. A, 2006)

21.12.150 Public facilities and service.

A. Water. The specific plan area will be served by Zone 1 of the city of Glendora water system. Zone 1 is served by three reservoirs designated as 1A, 1B and 1C, with a combined capacity of fourteen million gallons. In addition, the city is currently in the design stages of a project to add a three and one-half million gallon reservoir at the city yard site to serve Zone 1, with completion expected to take one to one and a half years for the new reservoir.

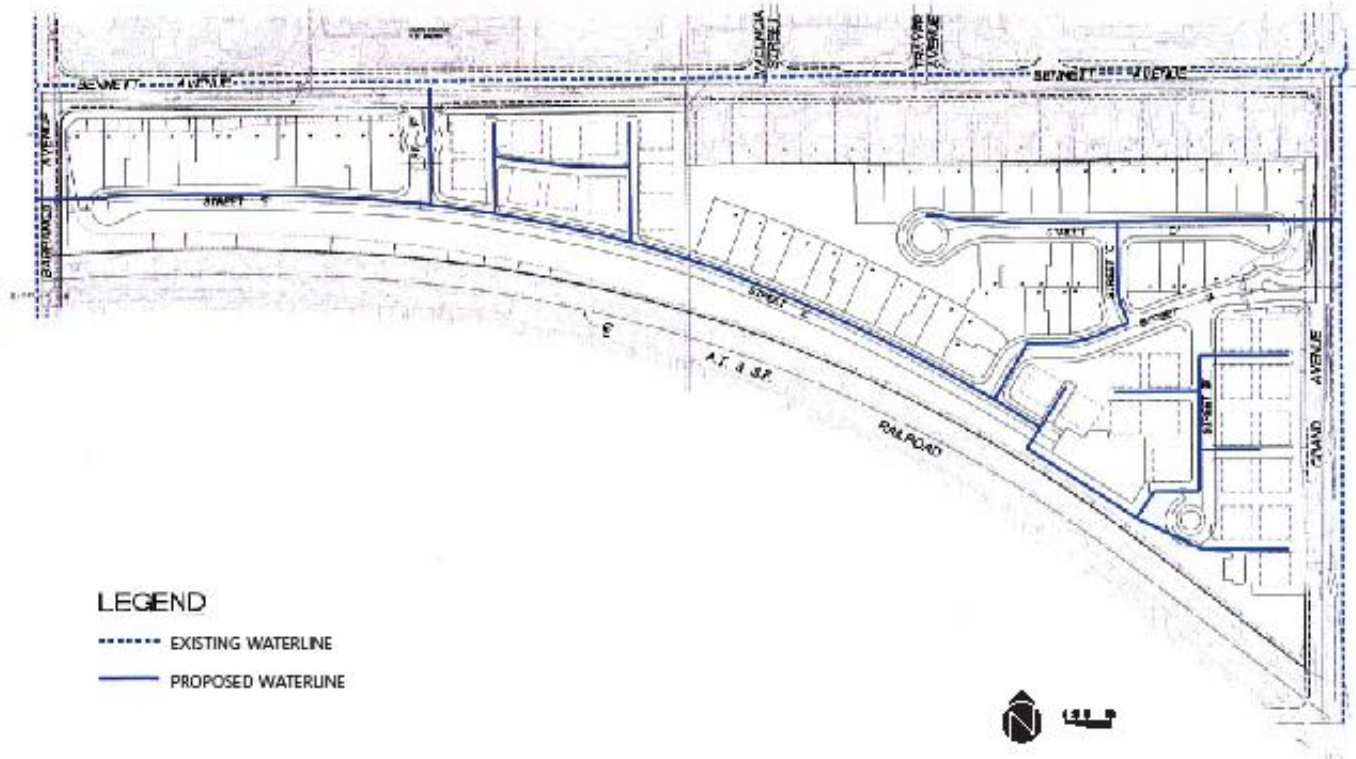
Water system demands for the project will include domestic demand and fire suppression demand. Typical average daily demand for domestic uses in the city of Glendora is one hundred gallons per person, per day. Typical maximum daily demand for domestic uses is one hundred eighty-five gallons per person, per day. Using the specific plan area's proposed one hundred forty dwelling units at an estimated 3.01 persons per dwelling unit, the maximum daily demand for potable water for the proposed project is expected to be seventy-seven thousand nine hundred fifty-nine gpd. In preliminary discussions, the city has indicated that Zone 1 is presently capable of supplying the demand for the project. At this time, there is not a source of reclaimed water for landscape irrigation purposes in the city of Glendora.

Fire suppression flows are determined by the Los Angeles County fire department, which is the fire authority in the city of Glendora. The typical flow requirements for the proposed residential uses are one thousand two hundred fifty gallons per minute at a twenty psi residual.

The existing water distribution system in the vicinity of the specific plan area consists of a ten-inch water main in Grand Avenue, a six-inch water main in Bennett Avenue from Grand Avenue west to Valencia Street, an eight-inch water main in Bennett Avenue from Valencia Street west to a point easterly of Barranca Avenue, where it reduces to a six-inch water main and continues west connecting to an eight-inch water main in Barranca Avenue. In addition, an eight inch water main traverses the specific plan area starting at Grand Avenue and continuing through the property westerly to vacated Valencia Street and then north along the vacated street area connecting to the existing eight-inch water main in Bennett Avenue. This waterline currently provides service to the existing commercial and industrial uses on the property, but due to its location, would not be useful to the project and will be abandoned and removed as part of the development.

As a part of the specific plan area development, a new water distribution system designed to the standards and specifications of the city of Glendora will be constructed within the proposed streets. Glendora typically operates and maintains systems constructed to its required specifications. It is intended that the water system for the specific plan area be designed and constructed as such and ultimately turned over to the city of Glendora for maintenance. Easements will be granted to the city over the private streets and private lot areas as needed to allow for the existence of water mains and their operation and maintenance. The approximate location of the water system for the proposed development is shown on Exhibit 9.

Exhibit 9 CONCEPTUAL WATER PLAN

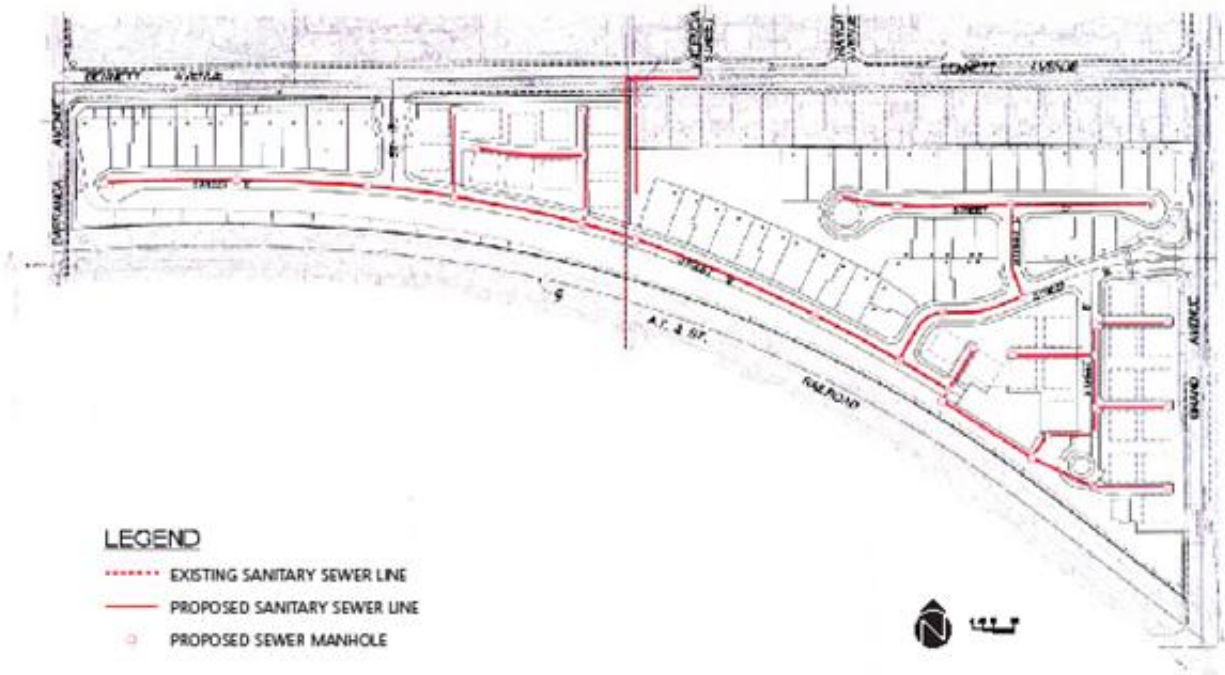


B. Sewer. An eight-inch public sewer line exists within the specific plan area and is available to provide service to the proposed project. The existing line lies within an easement of the city of Glendora that was reserved at the time the portion of Valencia Street within the property was vacated by the city. The line runs south from Bennett Avenue through the subject property, under the MTA Railroad right-of-way and into existing Valencia Street south of the railroad. The line continues south in Valencia Street to Foothill Boulevard, where it connects to an existing trunk line.

The new sewer system within the project will be designed and constructed to conform to the requirements of the city of Glendora and the Los Angeles County department of public works and will be maintained by the consolidated sewer maintenance district of Los Angeles County. Easements for the existence and maintenance of the sewer system will be granted to the city of Glendora over the private streets and lots within the project as necessary.

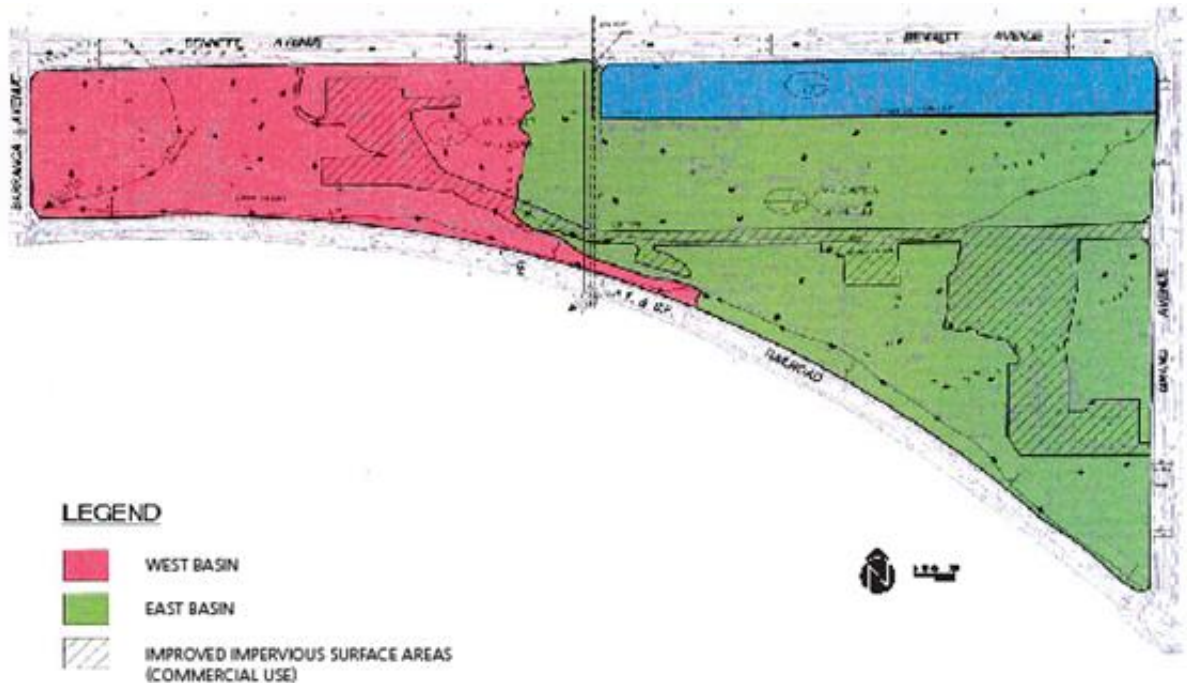
Underground pipelines to a joint outfall system convey sewage flows from the city of Glendora. This system directs flows to the San Jose Creek water reclamation plant in the city of Industry. Los Angeles County sanitation district No. 22 operates this facility and the project will need to be annexed into this district. In the event of policy change, the city will take over maintenance of the sewer system. Refer to Exhibit 10, Sewer Plan.

**Exhibit 10
CONCEPTUAL SEWER PLAN**



C. Drainage. A hydrology study has been prepared that analyzes the twenty-five-year storm runoff for both the pre-development and post-development conditions of the specific plan area. The Los Angeles County flood control district’s modified rational method hydrology for the twenty-five-year storm event was used in preparing the study. Exhibit 11, Existing Hydrology Plan, depicts the pre-development condition; Exhibit 11A, Post Development Hydrology, depicts the post-development condition, and Exhibit 11B summarizes and compares the findings of both previous plans in the proposed drainage plan.

**Exhibit 11
EXISTING HYDROLOGY**



**Exhibit 11A
POST-DEVELOPMENT HYDROLOGY**

These improved areas encompass approximately seven acres of the 27.6-acre specific plan area, or twenty-five percent. This partially accounts for the minimal increase in runoff from the pre-developed to the post-developed condition summarized on Exhibit 11A, Post Development Hydrology.

A Los Angeles County Flood Control District facility known as Hook Canyon Channel crosses the central portion of the site from north to south within an easement along the alignment of vacated Valencia Street. The facility, as it crosses the property, is an underground ten foot by seven foot reinforced concrete box culvert. The hydrology study of Hook Canyon Channel indicates all but a small portion of the west side of the specific plan is planned to drain into the facility.

Generally, rainfall runoff from both the West and the East Basin areas sheet flows southerly off the property onto the north half of the MTA Railroad right-of-way. Runoff from the East Basin flows westerly within the railroad and is intercepted by the Hook Canyon Channel near the center of the property. Runoff from the West Basin area flows westerly within the railroad and is intercepted by an existing storm drain facility in Barranca Avenue. Since the railroad right-of-way presently accepts and conveys runoff from the specific plan area, and since the railroad right-of-way will continue to contribute runoff to both the Hook Canyon Channel and the Barranca storm drain post-development, the acreage of the north half of the railroad right-of-way has been included in the study.

2. Post Development Condition. Onsite storm drain facilities will be designed to conform to an approved hydrology study and generally according to the proposed drainage plan shown on Exhibit 11B. The conceptual drainage plan for the proposed project includes interior streets fully improved with curbs, gutters and paving that will be used as mechanisms to convey runoff flows to a storm drain system consisting of catch basins and pipes placed at strategic locations within the streets. Runoff from the proposed lots will drain to the adjoined street via graded swales or to acceptable drainage device such as a yard drain or pipe. The proposed onsite storm drain systems will tie directly to the existing Hook Canyon Channel and Barranca Avenue storm drains.

Onsite storm drain facilities will either be maintained by the project homeowner's association as private facilities or turned over to Los Angeles County flood control district for maintenance via the miscellaneous transfer drain (MTD) process. The facilities will be designed and constructed in conformance with the standards of both the flood control district and the city of Glendora. All required easements for access and maintenance would also be provided as a part of the MTD process. The design will also include the preparation and implementation of a Standard urban stormwater mitigation plan (SUSMP) for compliance with the National Pollutant Discharge Elimination System (NPDES).

Post-development flows can be expected to exceed the pre-development flows due to possible increases in the percentage of impervious surfaces after development, slight variations in the tributary area to the particular facility and due to changes in the calculation methods and criteria between now and the time when the existing storm drain facilities were constructed. The increase in the peak flows due to these factors will be mitigated by on-site detention in a manner satisfactory to both the city of Glendora and the county of Los Angeles public works departments.

D. Utilities. Provisions for electrical, natural gas, telephone and cable television services will be made prior to the development of the specific plan area. All services are available and can be extended by each representative company to meet the project's demands. Utility providers are as follows:

1. Electrical: Southern California Edison Company.
2. Natural gas: Southern California Gas Company.
3. Telephone: Pacific Bell.
4. Cable television: Adelphia.

Any overhead utility lines that exist along the project's frontage on Grand, Bennett, and Barranca Avenues and are not transmission lines may have to be placed underground as part of the development. The existing

overhead utility lines, which serve the existing homes along the northern boundary of the property on the south side of Bennett Avenue, will remain in place and be protected throughout the course of the project's construction.

Solid waste disposal service is provided to the project site by the city of Glendora.

E. Public Transportation. The Foothill Transit Authority and city mini-bus service the city of Glendora. The 187-East line travels east west from Pasadena to Montclair. The 276-South line travels from the Sunny Hills Mall in the city of Industry to Citrus College in the city of Glendora.

F. Police, Fire, Hospital. The project site is serviced by the Glendora police department with the nearest station located at the Civic Center Complex, 150 S. Glendora Avenue.

The nearest Fire Station is Fire Station No. 151, located at 231 W. Mountain View.

Foothill Presbyterian Hospital is a full-service hospital and is located on Grand Avenue north of Route 66.

G. Schools. The project site is within the Glendora Unified School District. La Fetra Elementary and Sandburg Middle School are directly adjacent to the project on Bennett Avenue. The project will be served by local schools as determined in the EIR. (Ord. 1835 § 2 Exh. A, 2006)

21.12.160 Oak tree preservation.

A. The 27.6-acre site for Arboreta includes a number of non-native and native trees, including California live oaks and several California walnut trees. The trees are primarily located in the northern and central portion of the site. Some of the larger oak trees, approximately sixteen, have been incorporated into the conceptual plan of the project in a passive open space park, adjacent to single-family homes. The applicant will hire a certified arborist to prepare a tree study that ensures appropriate measures are taken with respects to the trees on the site.

B. The EIR will include mitigation measures and guidelines to preserve the oak trees during construction and over the life of the project. These measures may include:

1. Grading interface to the drip line and trunk;
2. Horizontal setbacks to limbs, trunks from fences, walks and streets;
3. Drainage around trees;
4. Long-term maintenance;
5. Irrigation requirements;
6. Pruning to remove dead or broken limbs or approve the overall health of the tree.

C. These mitigation measures will be defined in an oak tree conservation plan to be prepared by a certified arborist as part of the tree study and incorporated into the project EIR. Ultimate responsibility for the long-term maintenance of the oak trees will be the responsibility of the master homeowner association. (Ord. 1835 § 2 Exh. A, 2006)

Article IV. Development Standards

21.12.170 General regulations and conditions.

The Arboreta specific plan is intended to promote infill development of the project site into a new residential neighborhood, with an adjacent neighborhood park. The intent of the proposed regulations is to guide residential development within this community, thereby creating a high quality residential environment and bring new vitality into an unoccupied, underutilized area. These regulations set forth permitted uses and development standards for the specific plan area. The Arboreta specific plan housing types and lot sizes vary from the standard city zoning standards, and, in the interest of a varied and imaginative project design, a change of zone to "specific plan" is proposed.

The development regulations included herein shall apply to areas within the Arboreta specific plan boundaries only. The specific plan development regulations shall supersede the provisions, standards and requirements of the Glendora Zoning Ordinance, except in those instances where the specific plan development regulations remain silent or unclear. In instances where the specific plan development regulations do not address specific issues or other relevant considerations, the Glendora Zoning Ordinance shall apply. Where the specific plan's provisions, standards and requirements differ from those of the Glendora Zoning Ordinance, the former shall take precedence.

- A. Gated Entry Operation. Approval of gates and mechanisms shall be approved by the city of Glendora public works department and police department and Los Angeles County fire department.
- B. Bennett Avenue Entry Gate. The Bennett Avenue entry gate shall be closed as an exit with the exception of emergency egress during La Fetra Elementary School and Sandburg Middle School morning drop off and afternoon pick up times (currently identified as seven thirty a.m. to eight thirty a.m. and one p.m. to two forty-five p.m.) Monday through Friday. The development shall adjust this closure time as needed as the school schedules change over time. Signs shall be posted to notify traffic of the hours of operation for the Bennett Avenue gates and shall direct traffic to use the Grand Avenue entrance during these restricted time periods. (Ord. 1835 § 2 Exh. A, 2006)

21.12.180 Permitted uses/residential.

- A. Permitted Uses.
 - 1. Single-family detached and attached residential dwellings.
 - 2. Contractor's office and/or storage of construction materials and equipment within the specific plan boundaries will be allowed during the period of construction and not to exceed sixty days thereafter.
 - 3. Common open space lots and parks to be maintained by the homeowner's association.
 - 4. For the purposes of this specific plan, accessory structures shall include those structures articulated in Section 21.12.190.
 - 5. Accessory buildings and structures are prohibited.
 - 6. Home occupation uses subject to Section 21.04.010(A)(3) of this code.
 - 7. Temporary model home and subdivision sales office (subject to development plan review).
 - 8. Temporary subdivision sales signage, in accordance with the Glendora sign ordinance.
- B. Uses Permitted Subject to a Conditional Use Permit.
 - 1. Child day care facility. (Ord. 1835 § 2 Exh. A, 2006)

21.12.190 Residential development standards.

Tables 2a and 2b, Residential Development Standards, follows and sets forth the building setbacks, maximum height and other requirements for residential development of the Arboreta specific plan. Additional residential development standards include the following:

- A. Patios. Open patios with trellis or lattice-work overhead structures that are attached to a single-family residence may project into the required rear yard setback, but no closer than ten feet to the rear property line.
- B. Deck Structures. Second story deck structures may project five feet into the rear setback except Lots 1-20. No decks allowed due to existing residences.
- C. Covered Porch Structures. Covered single-story porch structures that are attached to a single-family

residence may project into the required front yard setback, but no closer than ten feet from the right-of-way of the private street (back of walk).

No additions or alterations that expand approved floor area for any unit in the Arboreta specific plan are permitted.

All first story additions require design review approval. Development plan review approval is required for second story additions.

D. Balconies. Second floor covered or uncovered balconies may not project beyond the building setbacks and are restricted to one side of the building. Balconies may not exceed two hundred square-feet with the maximum dimensions of ten feet in depth and twenty-five feet in length.

TABLE 2a	
Detached Residential Development Standards (SFD)	
	SFD
Minimum lot area (sq. ft.)	As approved by the TTM
Maximum bldg. height (ft./stories)	25'2 stories ¹
Minimum bldg. setbacks	
Front ²	Residence* 15'
	Front porch* 10'
Side (ft.) ³	5'
Rear (ft.)	Residence rear setbacks are denoted by the approved ttm site plan included as part of the specific plan*
Garage door ^{4,5} (ft.)	20'*
Minimum distance between residences and garages on adjacent parcels (ft.)	10'
Minimum unit size	2,000 sq. ft.
Maximum perimeter walls height (ft.)	6'
Minimum garage space per unit	2/unit 20 x 20 interior-clear*
Minimum guest parking spaces	0.3/unit
Minimum back out distance, measured to street	25'
Floor area ratio (FAR)	Established by approved TTM site plan. No increase in interior living area or garage area permitted

Notes:

1. Height as measured from any point on the roof to finish grade at the nearest exterior wall. Chimneys are exempt from the height limitation.
 2. Porches may encroach into the front setback, but no closer than ten feet to the property line.
 3. Side yard setback excludes exterior projections such as bay windows, media niches and chimneys which may protrude a maximum of two feet into side yard. Refer to Section 21.12.190(F) for explanation of shared use easements.
 4. Final perimeter wall heights shall comply with recommendations of the noise study.
 5. Garage doors shall be roll up doors.
 6. Garage space shall not be converted to living space.
- * No alteration permitted.

TABLE 2b

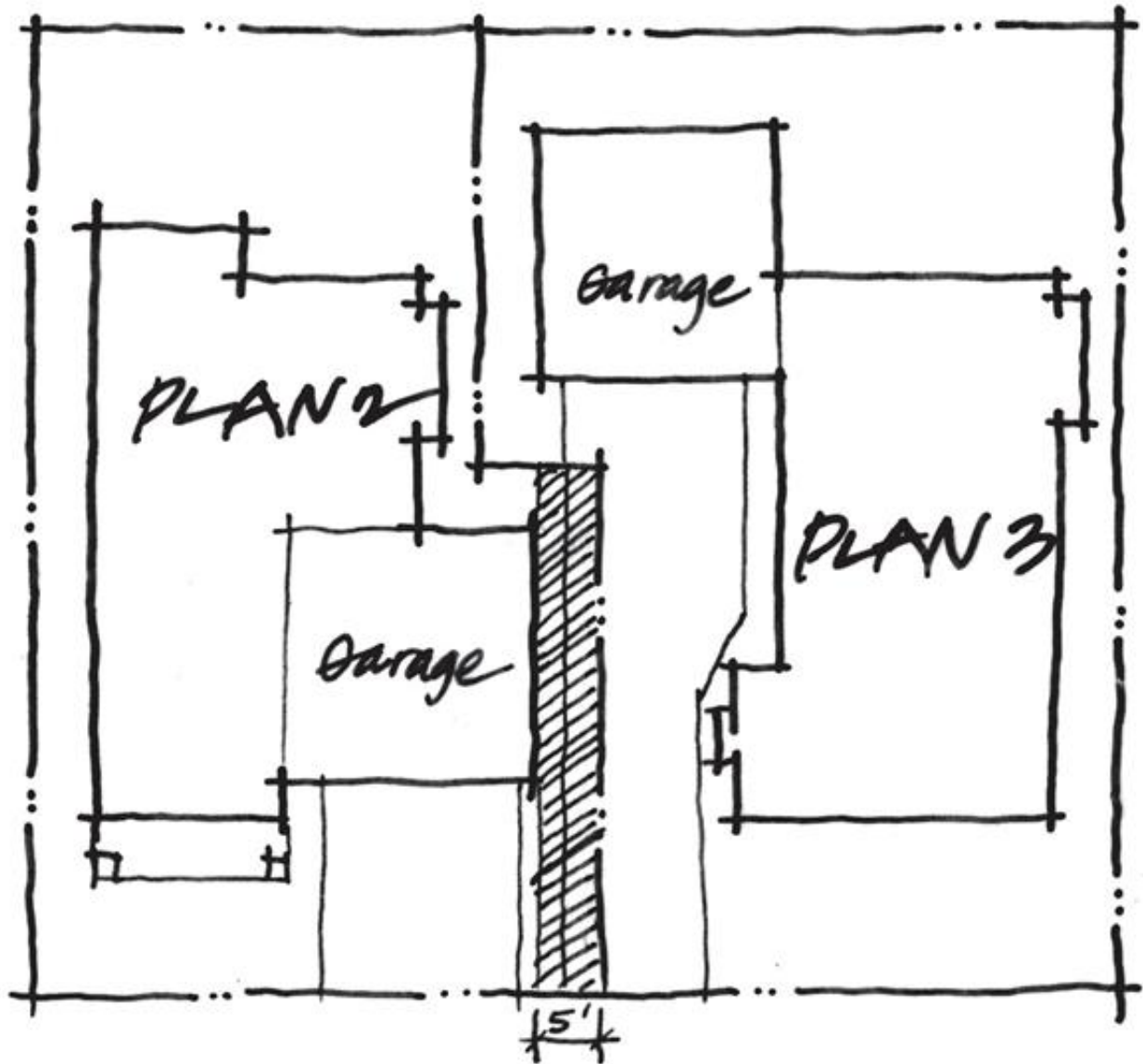
Attached Residential Development Standards (SFA)

	SFA
Minimum lot area	As approved by the TTM
Maximum bldg. height (ft./stories)	28'2 stories ²
Minimum bldg. setbacks	Established by approved TTM site plan. No increase in interior living area or garage area permitted
Front	10'*
Side	10'*
Rear garage door ¹	3'
Rear projections	2'
Minimum bldg. separations	
Front to front	20'*
Side to side	15'*
Garage door to garage door	30'*
Alley width (between rolled curbs)	24'*
Clear to sky alley width	26'*
Minimum unit size (sq. ft.)	1,200
Maximum perimeter walls height	6'
Minimum garage parking space per unit	2/unit 20 x 20 interior clear interior space*
Minimum guest parking spaces	0.3/unit
Floor area ratio (FAR)	Established by approved TTM. No increase in interior living area or garage area permitted

Notes:

1. Garage doors shall be roll up doors.
 2. Height as measured from any point on the roof to finish grade at the nearest exterior wall. Chimneys are exempt from the height limitation.
- * No alteration permitted.

Figure 1. Typical Shared Use Easement



E. Accessory Structures. The development review committee and the HOA shall consider the following structures permissible accessory structures with approval of a design review application: pools, spas, outdoor fireplaces, fire pits, and built-in barbeques.

F. Shared Use Easements. A shared use easement to allow adjacent property owners to share use of their neighbors' property is proposed within the single-family detached homes in Arboreta.

In particular, a five-foot wide use easement will occur in the side yard between Plans 2 and 3, as shown in Figure 1. The Plan 2 lot grants a use easement to the Plan 3 lot, to be utilized for a portion of the Plan 3 driveway and adjacent landscaping. No building setback standards, as described in Table 2a, are altered. The proposed lot line between Plans 2 and 3 is "jogged," to accommodate a consistent five-foot side yard setback for both plans.

This concept is an improved adaptation of the "zero lot line" concept, which only allowed windows and lighting on three sides of the home on the property line; here windows are allowed on four sides. The deep recess garage in Plan 3 provides for a richer streetscene, with reduced appearance of garage doors on the street.

G. Mechanical Equipment.

1. Single-Family Detached Homes. Mechanical equipment shall be located only in side or rear setback areas and no closer than three feet to any property line. All air conditioning units shall be

screened from view from the street.

2. Single-Family Attached Homes. Mechanical equipment shall be screened from view from streets or paseo sidewalk areas.

H. Recreational Facilities. Additional recreational facilities or modifications proposed after approval of the original specific plan such as a neighborhood pool and tot lot shall be reviewed and approved by the city with a design review application. (Ord. 1835 § 2 Exh. A, 2006)

21.12.200 Common open space lots and parks.

Common open space lots and parks are to be identified on a site development plan and will be maintained by the homeowner's association. The following uses are permitted within open space lots:

1. Neighborhood pool and spa;
2. Park furniture and amenities;
3. Landscape lots;
4. Barbecue/picnic areas;
5. Children's play area(s)/ tot lot;
6. Access and service roads;
7. Sidewalks;
8. Public utilities;*
9. Utility easements or rights-of-way.*

*Public utilities within common open space lots and parks must be installed underground.

(Ord. 1835 § 2 Exh. A, 2006)

21.12.210 Supplemental standards.

A. General. Temporary modular buildings such as portable buildings or mobile homes are prohibited, except as identified in Section 21.12.180 (A), Permitted Uses.

B. Landscaping.

1. All required landscape areas shall be provided with permanent and adequate (commercial grade irrigation where appropriate) means of irrigation. All public or common landscaping shall be installed and maintained in such a manner as to not interfere with maintenance or repair of any utility to not restrict pedestrian or vehicular access, and to not constitute a traffic hazard by reducing visibility.
2. All landscaping and irrigation improvements shall be installed by the developer, maintained by the project's homeowner's association, shall not be altered by any homeowner without prior consent or approval by such HOA landscape improvements by the developer shall include common areas for the attached homes, slopes, passive park and street parkways.
3. The homeowner's association shall maintain all landscape and irrigation in public and common areas in a lush and healthy condition or in the case of irrigation in perfect function at all times. Public and common area landscaping shall include but not be limited to all open space areas, passive park areas, hook drainage easement area, streets and street trees, all entryway/gateway landscape areas, and all perimeter open space areas within and surrounding the subdivision. All landscape and irrigation shall be maintained by the HOA in substantial conformance with the approved master landscape and irrigation plan.
4. Street trees as identified on the approved master landscape and irrigation plan shall be maintained by the HOA. If a tree dies or is removed, it shall be replaced by the HOA with a similar

species and size within sixty days.

5. Oak trees as identified on the tree preservation plan prepared by an arborist approved by the city shall be maintained by the HOA in conformance with the approved the approved tree preservation plan. Unauthorized removal of trees or significant limbs shall result in inch per inch replacement by the HOA at the direction of the city and an approved arborist.

6. All screening trees established by the approval of the specific plan shall be maintained by the HOA and/or property owner in lush and healthy condition. If any screening tree dies or is removed, it shall be replaced by the HOA and/or property owner with a similar species and size within sixty days.

7. The HOA shall ensure that all single-family detached lot front yard areas are maintained in a lush, healthy and functional condition consistent with the intent of the Arboreta specific plan. The HOA shall review and approve all front yard landscaping improvements excluding public area and street tree improvements (which are approved through the master landscape and irrigation plan) to ensure consistency with overall aesthetic intent of the Arboreta specific plan.

C. Walls and Fences.

1. A six-foot masonry wall shall be provided around the perimeter of the specific plan area, in conformance with final fence/wall plan approved by city. Final wall heights shall conform to the recommendations of the EIR.

2. A block wall will not be allowed between the linear public park and the new homes.

3. Interior property line walls/fencing shall comply with the final wall/fence plan approved by the city. (Ord. 1835 § 2 Exh. A, 2006)

21.12.220 Parking standards.

Parking standards of the city of Glendora Zoning Ordinance shall apply to development within the Arboreta specific plan area, except as defined herein.

1. Guest vehicles may remain on the streets during evening hours.

2. Accessory vehicles, such as motorcycles, boats, all terrain vehicles, etc., shall be parked within an enclosed garage.

3. Parking within common drives is prohibited at all times. No vehicle shall be parked continuously on private streets within the project for any period in excess of seventy-two hours. Vehicles parked in violation of these requirements are subject to towing and the requirement enforced by the HOA.

4. Recreational vehicle parking is prohibited.

5. Resident and guest parking shall conform with Tables 2a and 2b, Residential Development Standards. (Ord. 1835 § 2 Exh. A, 2006)

21.12.230 Satellite dish antennae.

Satellite dish antennae are permitted provided they blend with the architectural style of the dwelling, and are not visible from surrounding roadways and are approved by the HOA.

A. Home Occupations/Business.

1. Shall conform to Section 21.04.010(A)(3) of the Glendora Municipal Code. (Ord. 1835 § 2 Exh. A, 2006)

21.12.240 Nonresidential standards.

The open space parks and recreation uses within Arboreta shall comply with standards for height, setbacks,

parking, etc. as part of the design review process with the city.

The nonresidential portion of the specific plan includes the 4.6-acre linear public park, 1.4-acre passive park, tot lot, and private neighborhood pool. Regulations for these uses are included in nonresidential development standards.

A. Linear Public Park. The specific plan includes a 4.6-acre linear park. All permanent structures in the linear park (exercise stations, picnic tables and multi-purpose trail) shall maintain a minimum fifty-foot setback between any residential structure and/or the project entry street and the proposed structure. The developer shall install the park and the master HOA shall maintain the public park and the private recreation and park areas.

B. Passive Park. The specific plan includes a 1.4-acre passive park for the use of the residents within the specific plan. All permanent structures shall be limited to seating and walkways. (Ord. 1835 § 2 Exh. A, 2006)

21.12.250 Rubbish and recycling.

Placement for collection and storage of all solid waste and recycling containers shall be consistent with Section 6.08 of the Glendora Municipal Code. (Ord. 1835 § 2 Exh. A, 2006)

21.12.260 Affordable housing.

As required by the city, an in-lieu fee will be paid on a per unit basis. This fee will be deposited into a special affordable housing fund established by the city for development of affordable housing in compliance with the city's housing element, consistent with the development agreement as approved by the city council. (Ord. 1835 § 2 Exh. A, 2006)

Article V. Design Guidelines

21.12.270 Site planning concept.

The layout of lots and streets as shown on Exhibit 5, Illustrative Site Plan, is conceptual and shall remain slightly flexible in terms of layout, location and specific home orientation, so long as the development is in substantial conformance with approved subdivision for the Arboreta specific plan.

The overall community design concept for Arboreta is that of a gated, private, lifestyle that reflects the quiet residential nature of the surrounding community. Pedestrian linkages are provided to inter-connect all homesites with the passive park and neighborhood park. The focus of the site plan is an inward orientation, towards the central streetscene and outward, with sensitivity to visual impacts to the surrounding perimeter streets.

A. Site Planning Measures. Specific site planning goals and techniques utilized in creation of the Illustrated Site Plan, Exhibit 5, include:

1. New adjacent single-family detached residences, which abut homes that front on Bennett shall all be single story, and shall incorporate increased rear yard setbacks as established on the tentative tract map from the rear property line, including room additions, living space, decks and single story structures.
2. Passive open space adjacent to five single-family detached residences fronting on Bennett Avenue, as a rear yard buffer.
3. Varied massing of rear elevations of single-family detached and side elevations of townhome units facing Bennett Avenue and the MTA Railroad right-of-way.
4. Varied setbacks for single-family detached residences and town-home buildings facing Bennett

Avenue and the MTA Railroad right-of-way.

5. Lowered pad elevations for single-family detached residences and townhome buildings, below street grade along Bennett Avenue, to minimize the visual impact of building masses.
6. Varied garage placement for single-family detached residences, setbacks and massing along the central community streetscene.
7. Varied residential elevations along the central community streetscene (single-family frontage and side elevations of townhomes.) (Ord. 1835 § 2 Exh. A, 2006)

21.12.280 Architectural character.

Arboreta is envisioned as a traditional neighborhood with two building types; single-family and attached. Neighborhood architecture includes eclectic Spanish, Craftsman, and Traditional styles, “classic” styles with appropriate massing. These styles include a blend of architectural elements compatible with existing architectural character in surrounding neighborhoods. Some single story elements have been maintained in the proposed single-family detached and attached home design, to blend and complement the range of styles.

- A. Building Mass. Building massing is varied by style. The Traditional style includes a two-story mass, true to style, while Craftsman has more movement, wall breaks, and single story elements. The Spanish style includes more wall mass and introduces a deck in the front elevation in contrast.
- B. Roof Forms and Window Treatment. Proposed roof forms and window treatments are simple and classic, true to style, and vary per style. The Craftsman style introduces more gable end roofs, with more movement. Chimney treatments vary per style. Window treatments will also vary per style. With Spanish, windows are recessed or stucco trimmed. Craftsman style windows include trim that allows for color blocking. The Traditional style shutters and trim coincide with the siding.
- C. Additional Building Components.
 1. Accessory structures such as mailbox structures are designed so that they are consistent with the architectural style of the adjacent primary structures and compatible with the residential character of the neighborhood.
 2. Community walls will be of durable material (e.g., stone, masonry or stucco-covered block) and of a design and color consistent with the residential character. These walls will be a maximum of six feet in height and be generously landscaped to prevent them from becoming a dominant visual element of the streetscape.
 3. Sound walls as required shall include decorative elements to blend with approved architecture and community walls. (Ord. 1835 § 2 Exh. A, 2006)

21.12.290 Landscape architecture.

A. Landscape Concept. The community landscape concept (see Exhibit 13, Conceptual Landscape Plan) is intended to create a distinctive, diverse environment that will lend identity and character to the specific plan area. Consistent treatment of all landscaped areas is critical to the creation of a high-quality outdoor environment. The proposed landscape features, including a neighborhood pool and tot lot, are designed to enhance the project’s interface with the surrounding environment and the adjacent community. The landscape concept suggests methods of treatments that might be considered. Alternative landscape concepts and designs that accomplish the stated objectives and intentions are permitted.

Exhibit 12A: CONCEPTUAL SINGLE-FAMILY DETACHED HOMES



Exhibit 12B: CONCEPTUAL SINGLE-FAMILY ATTACHED HOMES



Exhibit 13: CONCEPTUAL LANDSCAPE PLAN



1. Landscape treatments should utilize and adapt to landscape elements from the urban patterns found in the traditional neighborhoods of Southern California, including regularly planted shade trees and

clustered plant groupings.

2. Landscape treatments should incorporate colorful plant material and evergreen trees in areas where such accents are appropriate.
3. Landscape improvements should require minimal maintenance and irrigation. The use of native and/or drought-tolerant plant material should be emphasized to the extent possible.
4. All public areas and rights-of-way shall have automatic irrigation systems (commercial grade, where applicable). Low volume spray heads and drip irrigation systems should be used and be compatible with any reclaimed water systems utilized.
5. Landscape plans shall consider service lines, traffic safety sight line requirements, and structures on adjacent properties to avoid conflicts as the trees and shrubs mature. Street trees and trees planted in privately owned landscaped areas near public walkways or street curbs should be selected and installed to prevent unreasonable damage to sidewalks, curbs, gutters and other public improvements.
6. Tree species with invasive root systems shall be oriented away from water lines, sewer lines or public rights-of-way (see subsection D, Plant Palette).
7. Landscape maintenance practices for public areas shall be provided by the HOA at regular intervals sufficient to promote plant health and appearance. Maintenance may include discing, mowing, pruning, clearing of debris, weed removal, replacement of dead plant material, and repair and replacement of non-functioning irrigation equipment.
8. Street trees shall be located so as to not prevent effective solar access.
9. All landscaping shall be maintained to prevent interference with emergency vehicle access.
10. Fire protection measures within the Oak Tree Preservation Area (Passive Park) shall be consistent with applicable measures of the city of Glendora and fire marshall.
11. Maintenance of Hook Channel easement landscape shall be managed by HOA consistent with other public area standards.

Exhibits 13(A)—(C) provide illustrated cross sections of key edge conditions surrounding the specific plan area, and proposed landscape treatments to help insure project compatibility with surrounding the neighborhood.

Exhibit 13A: PROPOSED SITE SECTIONS

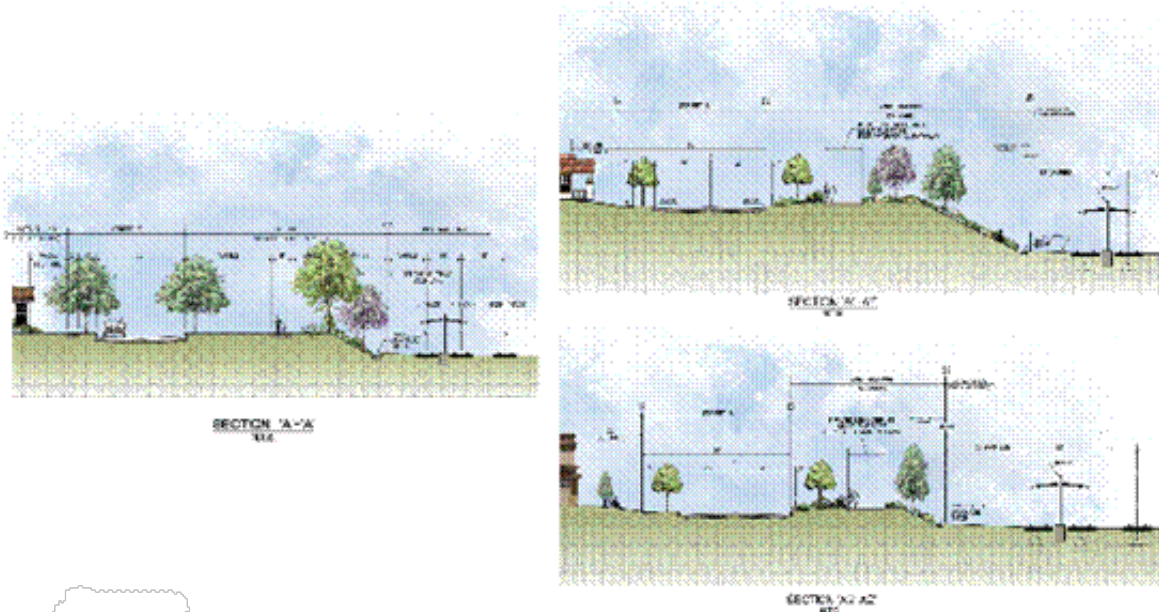


Exhibit 13B: PROPOSED SITE SECTIONS

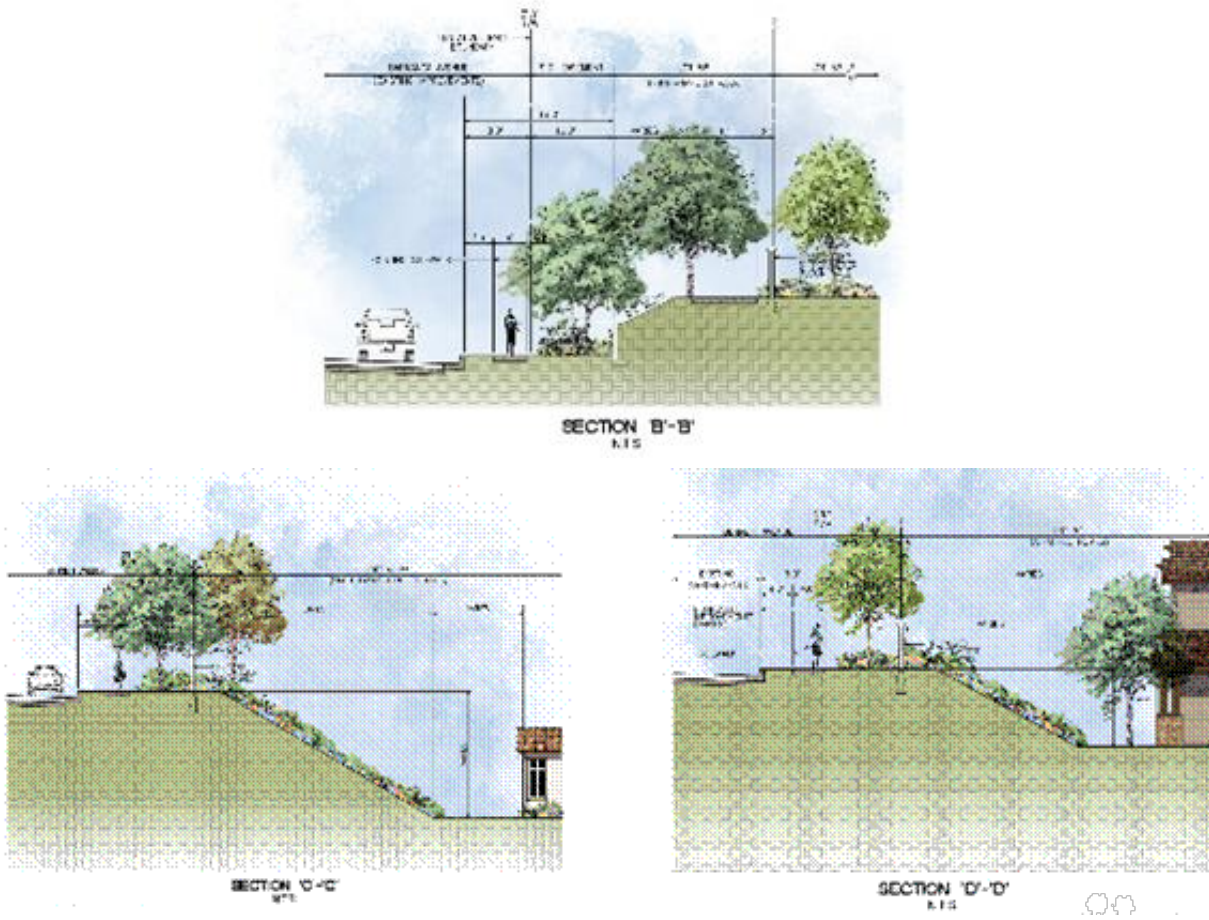
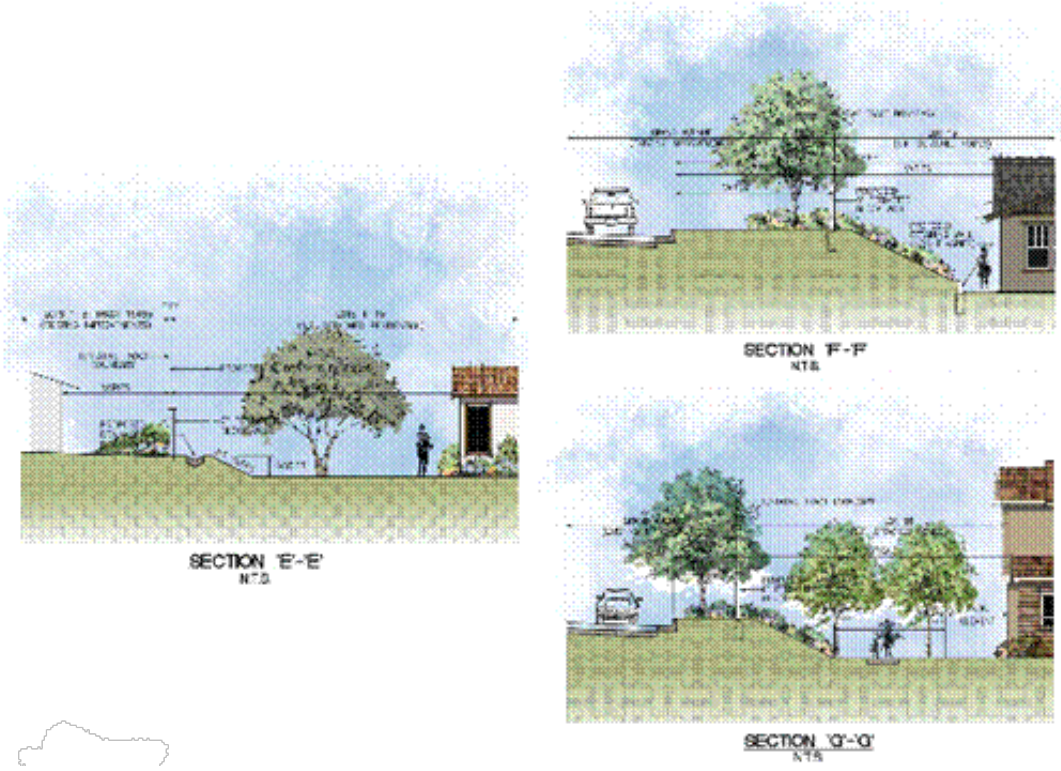


Exhibit 13C: PROPOSED SITE SECTIONS



B. Streetscapes. The streetscape within the Arboreta will receive a distinct landscape design. The goal is to establish the neighborhood character with a street tree palette appropriate for the scale and architecture.

Courtyard planting shall generally consist of vertical screen elements and flowering accent trees.

Street trees shall be consistent with the approved street tree or master landscape and irrigation plan.

1. Landscape treatments should generally utilize formally planted street trees, unless otherwise specified.
2. Street tree planting may generally utilize one or two (at the most) primary species for each street, consistent with approved master landscape and irrigation plan with a limited number of additional species used as accent.
3. Landscape vines shall be planted along perimeter walls to provide a softened streetscape.
4. In order to conserve water, landscaping of the ground plane may emphasize the use of shrubs, native grasses and mulches as well as turf.
5. Landscaping in public areas shall minimize the use of groundcover. Turf will be specially designed into public, open space and entries.
6. Masses of shrubs shall be limited to a few, extensively used species for each street. Variations to the basic species should selectively be used for accent and contrast.
7. A landscaped parkway will be provided along the south edge property line, as indicated on the tentative map.

C. Project Entries. Inspired by the architecture of the Green Brothers, the newest neighborhood in Glendora will welcome visitors with a Craftsman style entry to the project, using specimen coast live oaks with masses of ornamental grasses to create a rural feeling at the project entry. Beyond the entry, this theme is reinforced with a street lined forest of London Plane trees reminiscent of neighborhoods of the past. Special design emphasis is given to the main entry into the specific plan. The primary project entry will be enhanced with clusters of vertical screening elements and flowering accent trees on either side. The treatment of the primary and secondary entries will reinforce the overall community character while distinguishing the Arboreta project as a unique place.

The primary community entry is located off of Grand Avenue and is the most prominent point of arrival to the project (refer to Exhibit 14, Primary Community Entry). The landscape treatment will include:

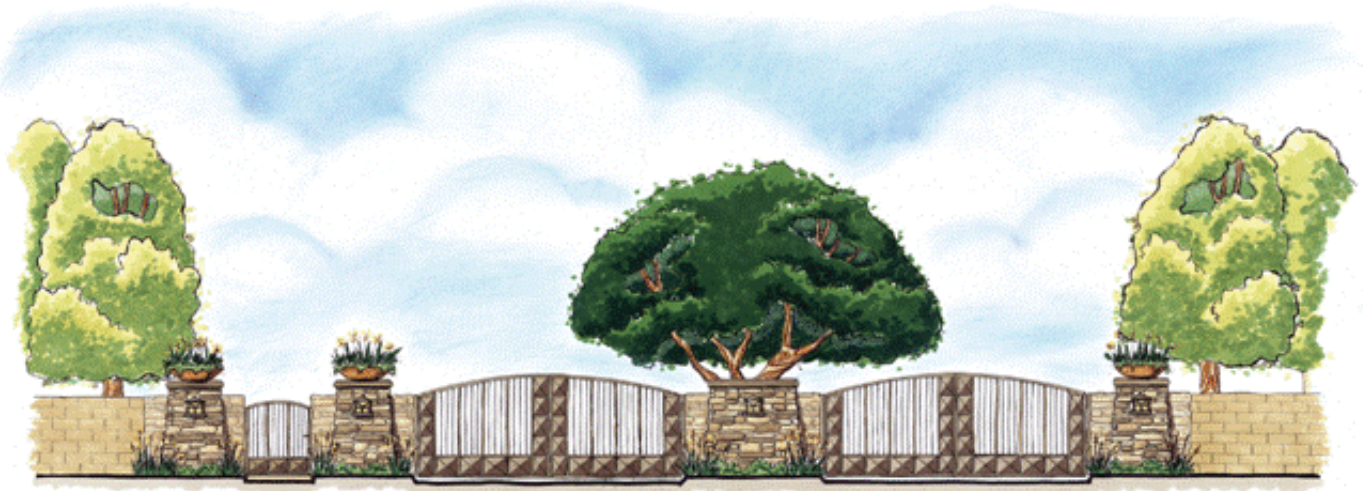
1. Monumentation;
2. Interesting accent shrubs and trees;
3. Accent paving in pedestrian or vehicular areas.

The secondary community entry is located off of Bennett Avenue. This entry will utilize similar landscape treatment elements such as pilasters, walls and themed plan materials and paving or other details established by the primary community entry.

Exhibit 14
PRIMARY COMMUNITY ENTRY FROM GRAND AVENUE



Exhibit 15
SECONDARY COMMUNITY ENTRY FROM BENNETT AVENUE



D. Plant Palette. The following plant palette has been created to help reinforce the character of the specific plan. Species should be chosen for their ability to reinforce not only the community character, but also the areas where their presence has an influence. Plant selections shall be in substantial conformance with the approved master landscape and irrigation plan and may include, but not limited to, the following:

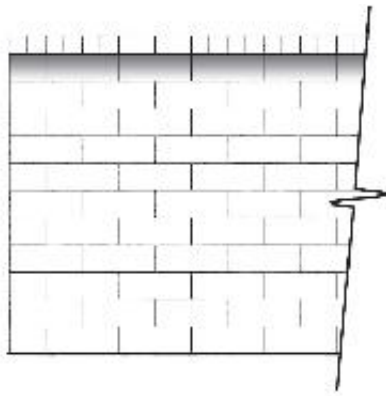
TREES	
Botanical Name	Common Name
Platanus A. "Bloodgood"	London Plane Tree
Cinnamomum Camphora	Camphor Tree
Rhus Lancea	African Sumac
Magnolia "Little Gem"	Magnolia

Lagerstroemia L. "Muskogee"	Crape Myrtle
Pistachia Chinensis	Chinese Pistache
Prunus Caroliniana	Carolina Laurel Cherry
Quercus Agrifolia	Coast Live Oak
Brachychiton populneus	Bottle Tree
Cassia leptophylla	Gold Medallion Tree
Citrus species	Citrus
Eriobotrya deflexa	Bronze Loquat
Erythrina caffra	Kaffirboom Coral Tree
Erythrina coralloides	Naked Coral Tree
Eucalyptus species	Eucalyptus
Liquidambar styraciflua	American Sweet Gum
Melaleuca linariifolia	Flaxleaf Paperbark
Melaleuca nesophila	Pink Melaleuca
Olea europaea	Olive
Pinus canariensis	Canary Island Pine
Prunus halepensis	Allepo Pine
Tristania conferta	Brisbane Box
SHRUBS/GROUNDCOVER:	
Botanical Name	Common Name
Agave Vilmoriniana	Octopus Agave
Callistemon "Little John"	Dwarf Bottlebrush
Rosmarinus O. "Prostratus"	Dwarf Rosemary
Cistus Purpureus	Orchid Rockrose
Pittosporum Species	Mock Orange
Dietes Bicolor	Fortnight Lily
Lavandula Specikes	Lavender
Ligustrum Japonicum	Privet
Sesleria Atumnalis	Moor Grass
Artemisia californica*	California Sagebrush
Azalea species	Alaska Azalea
Baccharis pilularis "Twin Peaks"	Coyote Bush Prostrate
Bougainvillea species	Bougainvillea
Buxus japonica	Japanese Boxwood
Camellia japonica	Japanese Camellia
Carissa macrocarpa "Green Carpet"	Green Carpet Natal Plum
Coprosma x kirkii	Creeping Mirror Plant
Escallonia "fradesii"	Pink Princess Escallonia

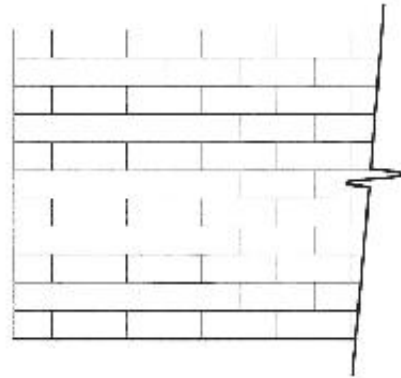
Gardenia jasminoides	Cape-jasmine
Grevillea "Noellii"	Grevillea
Hemerocallis species	Day Lily
Hemerocallis hybrid "Mountain Violet"	Daylily
Hibiscus rosa-sinensis	Chinese Hibiscus(rose of China)
Juniperus chinensis species	Blue Vase Juniper
Kniphofia uvaria*	Red Hot Poker
Lantana species	Lantana
Mahonia repens	Creeping Mahonia
Myrtus communis	True Myrtle
Nandina domestica*	Heavenly Bamboo
Phormium tenax species	New Zealand Flax
Raphiolepis indica species	India Hawthorn
Rosa species	Hybrid Tea Rose/Carpet Rose
Salvia species	Sage
Santolina chamaecyparissus	Lavender Cotton
Solanum rantonnetti	Paraguay Nightshade
Trachelospermum jasminoides	Star Jasmine
Verbena peruviana	Verbena
VINES:	
Botanical Name	Common Name
Rosa "Alba Plena"	Lady Banks Rose
Hardenbergia Violacea	Lilac Vine
Distictus Buccinatoria	Blood Red Trumpet Vine

E. Walls and Fences. To create a distinctive community identity and cohesive streetscene, community walls of consistent material and design will be used along the majority of the perimeter of the specific plan area. Depending on their location within the community, walls provide privacy, enclose public and private spaces, establish character, enhance security and safety, and minimize impacts to surrounding areas. Exhibit 13, Conceptual Landscape Plan, illustrates the proposed wall and fence locations for the planned community.

**Exhibit 16
TYPICAL WALL AND FENCE DETAILS**



Split-face Block Wall (Perimeter)



Slumpstone or Block Wall (Interior)

All walls and fences shall be in substantial conformance with the approved wall and fence plan.

General guidelines:

1. Decorative walls and fences shall be limited to a maximum height of six feet and be constructed in concert with plant material described in the landscape plan. The height may be increased as necessary to address noise mitigation measures as may be required by the EIR.
2. Retaining walls three feet or greater shall be designed by a qualified engineer and approved by the city.
3. Walls and fences visible from public streets shall be constructed of durable, high-quality materials and shall display a high level of quality in finish and detail.
4. Interior walls between single-family residential lots and separating rear yards between the project and Bennett Avenue residences shall be slump stone.
5. Permitted materials include stone, stone veneer, stucco, split face block, slump stone blocks, masonry, brick, wrought iron and tubular steel.
6. Prohibited materials include barbed wire, chain link, chicken wire, metal (aside from wrought iron or galvanized tubular steel used in view fencing), corrugated metal, or aluminum fencing, wood/plywood or other non-relief flat surfaces. Community walls will be of durable material (e.g., stone or masonry) and of a design and color consistent with the residential character. These walls will be generously landscaped to provide a softer streetscape. Refer to Exhibit 16, Wall and Fence Details. (Ord. 1835 § 2 Exh. A, 2006)

21.12.300 Architectural green building program.

The goal of this green building program is to create healthy interior environments, use natural resources wisely and preserve our natural resources. All homes shall be included in this green building program. As a part of this program, the builder should educate homebuyers about the green building components included in their new home and in the overall community by way of sales office displays and as part of sales brochure documents. The builder will be required to provide all components of the green program as it is written. The green building program as written is a self-governing program. Monitoring implementation and measuring results will be the responsibility of the builder.

A. Site / Landscape Design.

1. Plant materials with low water requirements;
2. Localize turf areas to public corridor, open space, and entries;
3. Use a majority of native plant materials.

B. Water Conservation: Design Elements.

1. Automatic zone irrigation systems;
2. Rain gauges, rain sensors and moisture sensors;
3. Drip irrigation (optional);
4. Low flow water fixtures;
5. High efficiency water heaters;
6. Hot water re-circulating pumps;
7. Tankless water heaters (optional).

C. Energy Conservation: Homebuilder Will Provide:

1. Insulation.
 - a. Wall insulation minimum R13,
 - b. Exterior envelope ceilings/roofs minimum R30;
2. Blown fiberglass insulation (buyer option).
 - a. All insulation installed shall be reduced formaldehyde content product;
3. Air systems.
 - a. Air filtration package (buyer option),
 - b. Natural cross ventilation in all primary rooms,
 - c. Title 24 compliant caulking at all crevices and holes to address draft stop conditions,
 - d. Garages interiors shall be fully enclosed with drywall,
 - e. Insulated and weather sealed garage doors;
4. Heating and cooling systems.
 - a. High performance HVAC,
 - b. Energy star thermostats,
 - c. Thermostatic expansion valves;
5. Windows.
 - a. Vinyl frame low e glazing windows at all elevations,
 - b. Insulated glass—dual pane seal systems:
 - i. Solar tube skylights (buyer option),
 - ii. Retractable screen at windows and doors optional;
6. Doors.
 - a. Insulated exterior doors;
7. Appliances.
 - a. Energy star dishwashers;
8. Lighting.
 - a. Fluorescent lighting in all units except for dimmable incandescent room fixtures,
 - b. Bathroom lighting on separate switch,
 - c. Low voltage outdoor lighting (where applicable).

D. Materials and Resources: Homebuilder Will Provide:

1. Waste recycling.

- a. Recycle at minimum fifty percent of all construction, demolition and land clearing materials. Establish at all construction sites easy access to well organized recycling bins for wood, cardboard, metals, glass and other recyclable potential materials.
- b. Provide recycling bin cabinet at each dwelling unit kitchen (buyer option);
2. Environmentally preferable materials for exterior elevations.
 - a. Concrete roofing,
 - b. Stucco, concrete or fiber cement siding,
 - c. Real and faux stone;
3. Framing materials, reduced lumber consumption methods.
 - a. Truss joists with recycled content,
 - b. OSB (oriented strand board),
 - c. Trex decking,
 - d. Laminated strand board,
 - e. Parallam strand lumber,
 - f. Medium density fiber board;
4. Indoor Air Quality: Builder to Provide :
 - a. Recycled content carpets,
 - b. Low formaldehyde insulations or alternative cotton/cellulose,
 - c. Water based wood finished optional,
 - d. Natural lighting by maximizing window locations. (Ord. 1835 § 2 Exh. A, 2006)

21.12.310 Auxiliary structures/equipment and utilities.

Additional Building Components shall be treated as follows:

A. Mechanical equipment:

1. All air conditioning/heating equipment, soft water tanks, gas and electric meters, pool, spa and fountain equipment associated with single-family residential units must be screened from public view with landscaping or fencing as approved by city planning department.
2. Window or rooftop mounted air conditioning units are prohibited.
3. All exterior mechanical equipment shall be screened from all sides.
4. Rooftop solar water tanks are prohibited.
5. Screening materials shall blend with the building materials and design, as well as with landscaping within the vicinity.
6. Screening shall be in a manner consistent with the building façade.

B. Utilities.

1. All new utilities within the Arboreta specific plan area shall be placed underground, unless noted otherwise.
2. The location of above-ground appurtenant utility boxes and similar equipment, if required, shall be consolidated whenever possible.
3. Utility connections to a building must be located to be as unobtrusive as practicable, with the preference being at the side or rear. (Ord. 1835 § 2 Exh. A, 2006)

Article VI Implementation

21.12.320 Financing and maintenance of improvements.

The financing and maintenance plan for the Arboreta specific plan will ensure the timely completion of public facilities, streets, utilities, and other necessary capital improvements as well as the proper maintenance of these facilities.

Table 3, Financing and Maintenance Plan, which follows, indicates the parties responsible for construction, financing and maintaining the public improvements proposed by the specific plan.

Financing and Maintenance Plan			
Service or Facility	Party(ies) Executing Construction	Party(ies) Financing Construction	Party(ies) Responsible for Operation and Maintenance
On-site residential streets (private) ¹	Developer	Developer	HOA
On-site water, sewer and storm drainage facilities	Developer	Developer	Utility operator
Off-site ROW improvements (public)	Developer	Developer	City of Glendora
Parkway landscaped along Barranca, Bennett and Grand Avenue adjacent to project	Developer	Developer	HOA
Residential streetscape	Developer	Developer	HOA
Community open space improvements	Developer	Developer	HOA
Linear park improvements ²	Developer	Developer	HOA

1 All streets are private except for the initial portion of the primary community entry road, as indicated on the tentative map. This portion will be dedicated to and maintained by the city.

2 Neighborhood park design plans shall be reviewed by the master homeowner association.

(Ord. 1835 § 2 Exh. A, 2006)

21.12.330 Subsequent applications.

Applications for modifications to existing structures must be reviewed and approved by city of Glendora department of planning and redevelopment through either a design review or development plan review process.

Applications for both design review and development plan review shall be submitted to the city of Glendora department of planning and redevelopment with the processing fee as established by city council resolution and all required plan and information.

A. Design Review. The design review process is a discretionary process conducted by the director of planning and redevelopment. Applications for all lattice covered patio structures, pools, spas, outdoor fireplaces, fire pits and built in barbecues and front porch improvements to individual residential units

conforming to specific plan development standards and design guidelines shall be submitted to the director for review and approval. The director shall approve the application based upon evidence of substantial conformance with specific plan development standards and design guidelines.

B. Appeals. All decisions of the director of planning and redevelopment concerning the applications shall be final unless appealed to the planning commission. All appeals shall be filed in writing with the director within ten days of the action of the director of planning and redevelopment. The director shall schedule the matter for consideration at a regularly scheduled meeting of the planning commission held within thirty days of receiving the written appeal.

C. Building Permits. No building permits shall be issued until the planning director, director of planning and redevelopment or the planning commission on appeal has approved the application. (Ord. 1835 § 2 Exh. A, 2006)

21.12.340 Enforcement of the specific plan.

The enforcement of the provisions of this specific plan shall be the following:

A. The director of planning shall be responsible for interpreting and enforcing the site development standards and design guidelines set forth herein. (Ord. 1835 § 2 Exh. A, 2006)

21.12.350 Amendments to the specific plan.

A. Requirements and Procedures. This specific plan may be amended at any time in the same manner and by the same process by which the plan was originally adopted. The city's standard environmental review procedures shall be followed.

B. Administrative Actions. The planning director, subject to appeal to the planning commission, may make minor modifications to provisions in the specific plan administratively. Such amendments do not require additional environmental review. These changes include but are not limited to:

1. The addition of new information to the specific plan maps or text that does not change the effect of any concepts or regulations.
2. Changes to the community infrastructure such as drainage, streets, water, and sewer systems which do not increase the development capacity in the specific plan area, decrease the development by more than twenty percent, or alter the major design concepts of the specific plan.
3. Boundary adjustments, easement locations and minor design feature changes.
4. Phasing adjustments.
5. Other items determined to be appropriate by the planning director.

C. Formal Amendments. All specific plan modifications which do not meet the criteria of an administrative action, shall be deemed to require a formal amendment to the approved specific plan. All formal amendments shall be reviewed for approval by the planning commission and city council.

Whether classified as administrative or formal amendments, all such changes to the specific plan shall reflect the same comprehensive analysis which was undertaken in the adoption of the specific plan and may require additional environmental review. The amendment application shall satisfy the following criteria:

1. Demonstrate that the proposed amendment meets the goals and objectives of the specific plan and general plan.
2. Ensure that any impacts from the amendment can be satisfactorily mitigated.
3. Provide a strikeout/underline copy of the specific plan text when changes are proposed and update any specific plan exhibits affected by the proposed amendment.

4. Update any specific plan technical studies and/or provide additional environmental studies deemed necessary by the planning director and/or other city officials. (Ord. 1835 § 2 Exh. A, 2006)

21.12.360 Phasing.

The Arboreta project is anticipated to be completed in one major development phase. Grading and infrastructure improvements are anticipated to be completed in one phase. In the event more than one phase of development is necessary, a phasing plan shall be submitted for review and approval by the director of planning. (Ord. 1835 § 2 Exh. A, 2006)