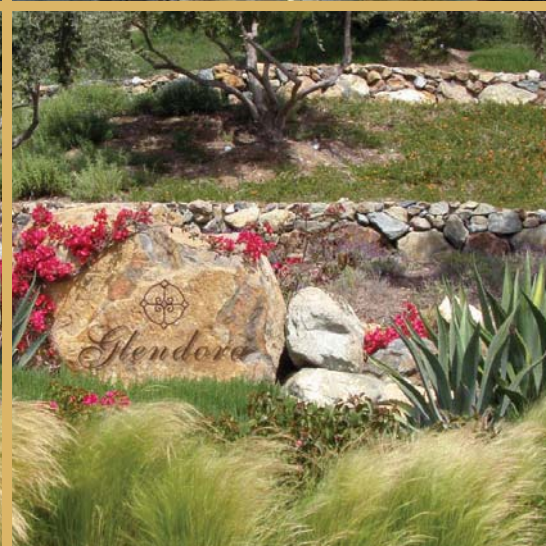


DRAFT

# Monrovia *Nursery*

## SPECIFIC PLAN

SPECIFIC PLAN FOR THE DEVELOPMENT OF THE FORMER  
MONROVIA NURSERY PROPERTY IN GLENDORA CALIFORNIA

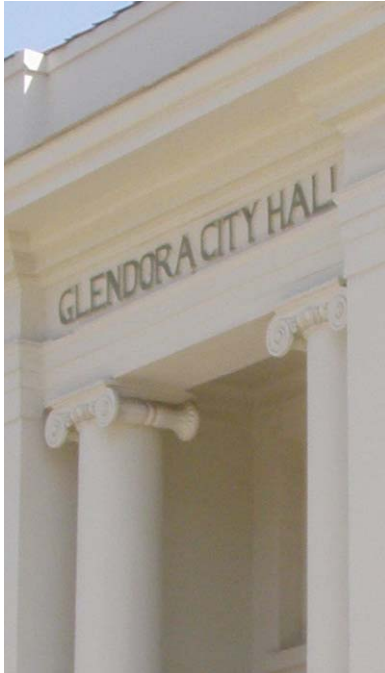


PREPARED FOR THE CITY OF GLENDORA AUGUST 2010



# Monrovia Nursery Property Specific Plan

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Prepared for  
The City of Glendora California  
The Citizens of Glendora California

Prepared by:  
The Rick Engineering Company

- Planning and Urban Design Division
- Water Quality Division
- Transportation Engineering Division

2010

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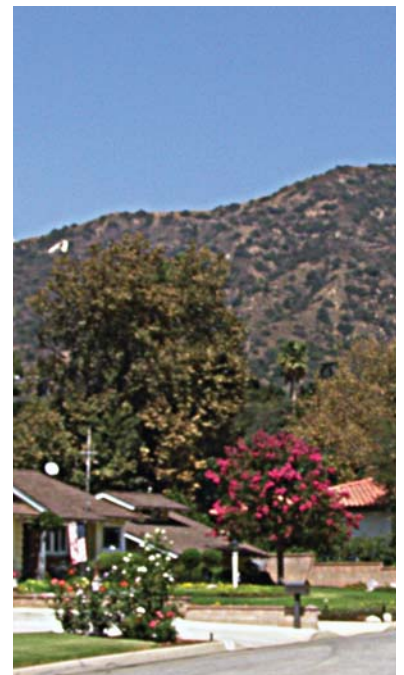
**PHOTO CREDITS:**

Unless otherwise indicated, all photos and exhibits are the product of the Rick Engineering Company

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# Background & Setting

## ■ CONTEXT

The City of Glendora has undertaken the lead role in preparing this Specific Plan for the eventual development of property commonly referred to as the “Monrovia Nursery”. This property is located in west central Glendora on approximately 95 acres. This Specific Plan governs only the 95-acre property formerly occupied by the Monrovia Nursery operations. However in the course of implementation it is certain that some infrastructure improvements (circulation, drainage) will occur outside of the Specific Plan. The Specific Plan appears as two large undeveloped parcels, one on the north adjacent to Sierra Madre Avenue and one on the south adjacent to the Burlington Northern Santa Fe Railroad right-of-way. These are being referenced as Specific Plan - North and Specific Plan - South.

The plan calls for the development of 124 minimum 20,000 square foot detached single-family residential lots, all lots will be served by public water, and sewer. All parcels will be accessed by public streets with the exception of five lots and an existing home at 1376 West Sierra Madre Avenue, which will be served by a private drive.

### *The Specific Plan*

A Specific Plan was chosen for this project to provide a document that applies development requirements for the property that are not possible through the application of the City of Glendora Zoning Code alone. In general a Specific Plan provides the regulations for the construction of new homes, grading and access, open space, and a comprehensive infrastructure plan and utilizing development standards and guidelines



attuned to the setting to assure that new development fits the community character. The development standards and guidelines contained herein govern placement, size, style, level of detail, landscaping and drainage. This Specific Plan also implements the City's general plan land use objectives. Development within the Specific Plan area will be subject to standards that are more specific than the requirements of the underlying E-7 20,000 Zoning District (the Specific Plan area will be re-zoned "Specific Plan").

### ***The Neighborhood***

Many neighborhoods in Glendora were developed with large subdivision tracts that included complete road networks, unified single-purpose land uses and functional comprehensive infrastructure. In contrast, the Specific Plan's foothill neighborhood evolved incrementally over several decades, by means of an assortment of tracts and individual home building actions. Many homes have evolved over time per a series of modifications. As a result the neighborhood exhibits vastly different looks across the landscape. In some cases, such as along Baldy Vista Avenue, the streetscape includes large homes with similar roof pitches and a limited range of exterior treatments, all set back identically. On the other hand, homes elsewhere in the neighborhood are often one-of-a-kind, with varying setbacks, styles, sizes, and details.



*Former Nursery Property*

*"Now that the nursery has ceased operations on this acreage it is vacant and the neighborhood has an opportunity to be completed."*

The streetscapes are also markedly different. For instance, Baldy Vista Avenue has a generous pavement width and concrete curbs. On the other hand, Milton Drive in the same neighborhood narrows to nearly a single curbless lane, with the homes displaying a range of sizes, styles and setbacks. Similarly the neighborhood along Yucca Ridge Road has a rural character and shares nearly no characteristics with Foxglove Court's residences of uniform vintage and similar design.

Throughout all of this, the neighborhood has remained incomplete, always divided and interrupted by nearly 95 acres of non-residential land use in the form of the Monrovia Nursery (the Specific Plan). Now that the nursery has ceased operations on this acreage it is vacant and the neighborhood has an opportunity to be completed.



In response to the eclectic character of the neighborhood, this Specific Plan was tasked with providing standards and directives that assure compatibility within a diverse design setting while ensuring that City requirements for development and infrastructure are met. The attraction of this neighborhood lies in the range and variety of homes that display individual expression and largely recede into generously shaded home sites. This Specific Plan seeks to respect this character and fit within it. The following factors drove this Specific Plan:

1. INFILL IN CHARACTER: The neighborhood is protective of the appeal of their community. The infill that is to occur in the Specific Plan will not be a jarring departure from the general character.
2. COMPATIBLE DESIGN: The City of Glendora and the neighborhood wanted to see development in the Specific Plan that is compatible and performs a transition between the current neighborhood, and new development.
3. NON-STANDARDIZED ARCHITECTURE: The neighborhood does not have a single consistent identifiable “architecture”, therefore stock design standards that rely on specific architecture (eg: “Mediterranean,” “Craftsman,” “American Farmhouse”) were not applicable.

### ***Traffic Concerns***

The neighborhood has been active in framing this process and helping this Specific Plan address their concerns. As in most public input undertakings, this process sorted through an array of concerns, ideas, suggestions, constraints and opportunities. As the process advanced, a balance was attained between individual desires, broader public policy and community building approaches. Consequently, though many ideas were incorporated, several demands were not included. For instance, many in the neighborhood initially opposed extending streets linking the northern Specific Plan area with the southern Specific Plan area due to concerns about traffic. For the most part concerns about traffic rested primarily on the possibility of pass-through traffic. And in response to this, previous concepts included no street connections between the north and south. It is worthy to note that current City of Glendora General Plan policy no longer allows the extension of streets or completion of street



*“The attraction of this neighborhood lies in the range and variety of homes that display individual expression and largely recede into their nearly half-acre shaded home sites..”*

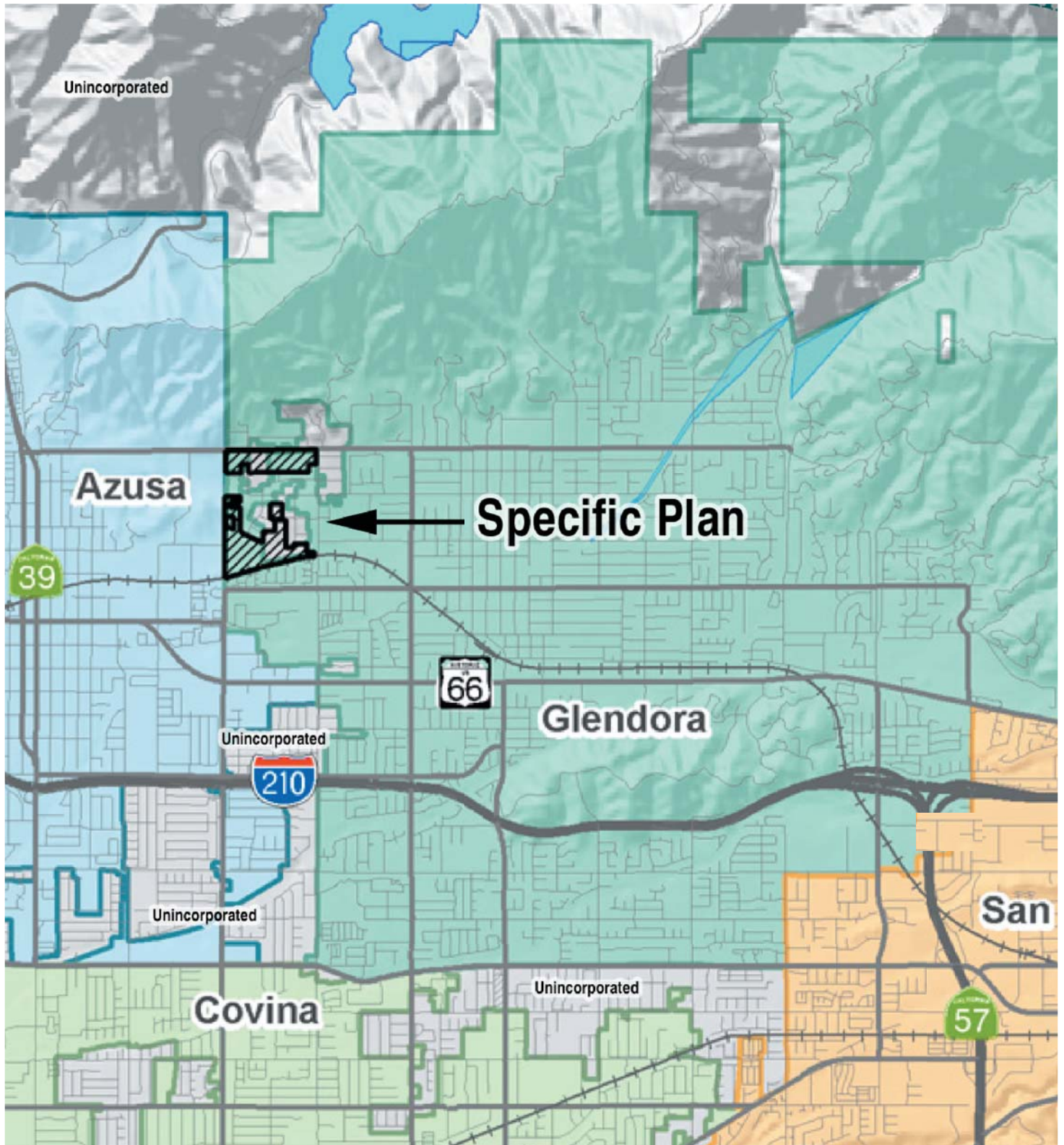
links between the City of Glendora and other jurisdictions. Therefore, though previous concepts proposed a street link to Citrus Avenue within the City of Azusa, such a link is now prohibited. As a result, concerns about “cut-through” or non-neighborhood traffic are no longer valid. Instead, the Specific Plan proposes the extension of Baldy Vista Avenue, thus providing a route through the neighborhood between Sierra Madre Avenue and Barranca Avenue near the Burlington Northern Santa Fe Railroad crossing. An access point is proposed into the City of Azusa for pedestrians, bicycles and emergency vehicles, but not public vehicular traffic.

### ***The Plan, In Brief***

This Specific Plan proposes 124 detached single-family residential homes on lots of at least 20,000 square feet. Although this Specific Plan contains its own development standards, it closely follows the City of Glendora’s E-7 20,000 Zoning District (Glendora Municipal Code Chapter 21.04.010). This Specific Plan contains a set of grading, drainage, circulation and design guidelines created to result in new homes compatible with the existing neighborhood.

This Specific Plan includes text and diagrams that specify the following in detail:

1. The distribution, location, and extent of the land uses within the Specific Plan.
2. The distribution, location of public and private circulation, sewage, water, drainage, and other essential facilities proposed to be located within the Specific Plan needed to support the land uses.
3. Standards and criteria by which development will proceed.
4. A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out (1), (2), and (3) above.
5. A statement of the relationship of the Specific Plan to the General Plan.



Source: Los Angeles County



North

(not to scale)



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# Vision

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## A. PLANNING APPROACHES

It is unusual for an established neighborhood to experience what has occurred in this community. The departure of the Monrovia Nursery operations from the neighborhood has opened up nearly 95 acres (the Specific Plan) of vacant land to redevelopment, presenting the opportunity to convert the property from nursery use to neighborhood homes.

### *PLANNING APPROACH 1: Compatible Design*

Create design regulations that result in new homes that are compatible with, but do not duplicate, the late 20th Century homes in the neighborhood.

### *PLANNING APPROACH 2: Contemporary Standards*

Produce design regulations that meet today's planning, energy, sustainability, engineering, and community-building standards.



## B. GOALS

The Specific Plan was charged with a set of goals that drove the plan and were the focus and purpose of the undertaking.

### *GOAL 1: Exhibit Respect for Existing Home Market Values*

The Specific Plan had to account for the property values and property rights of the existing adjacent neighborhood.

### *GOAL 2: Create a Unified Community*

The Specific Plan had to result in new development that will be physically and functionally harmonious with the existing neighborhood.

**GOAL 3: Address Neighborhood Infrastructure**

The Specific Plan had to address shortcomings within the broader neighborhood infrastructure:

- The lack of full vehicular circulation which impacts emergency (EMT, police, fire) response time and restricts emergency evacuation options.
- The existing poor drainage system that has resulted in problems during storm events.
- Water pressure and water availability improvements.
- Meeting “fuel modification” requirements to reduce fire hazards.



*“The existing poor drainage system has resulted in problems during storm events...”*

**GOAL 4: Serve as a Basis for Future City Development Entitlements**

The Specific Plan had to provide a development template for future developer-submitted entitlements including tentative maps, grading plans, infrastructure improvement plans, and private lot development plans.

**GOAL 5: Create Market-Driven New Development**

The Specific Plan had to contain regulations that result in homes that meet the demands of the marketplace and that make economic sense for the developers of the Specific Plan property.

**C. PLAN ELEMENTS**

**PLAN ELEMENT 1: Zoning**

Although the actual zoning for the Specific Plan area will be “SP” (Specific Plan), development will adhere to the provisions of the Specific Plan and also use the City of Glendora’s E-7 20,000 Zoning District standards as a guide.

**PLAN ELEMENT 2: Circulation**

Baldy Vista will be extended south and result in a connection between the north and south Specific Plan areas. No direct public street access from the Specific Plan into the City of Azusa is proposed.



**PLAN ELEMENT 3: Drainage**

Specific Plan will account for existing drainage issues by proposing grading and infrastructure improvements that will meet contemporary drainage standards.

**PLAN ELEMENT 4: Grade Transitions**

The grading approach within the Specific Plan area utilizes a series of intermediate stair-stepped terraces with associated slopes. The height differential/vertical separation between the existing adjacent residences and the proposed homesites shall be kept at the maximum degree acceptable to minimize views directly into existing residences.

**PLAN ELEMENT 5: Building Height**

Building height in the Specific Plan per the E-7 20,000 Zoning District and still limiting some new home sites to one story.

**PLAN ELEMENT 6: Neighborhood Continuity & Integration**

Specific Plan development to be compatible with neighborhood character through the implementation of design guidelines.

**PLAN ELEMENT 7: Annexation**

Portions of the Specific Plan area that are unincorporated Los Angeles County parcels are to be annexed into City of Glendora prior to development.

**PLAN ELEMENT 8: City of Azusa Agreements**

The Specific Plan will remain subject to existing and future agreements between Glendora and Azusa regarding drainage and street maintenance.

**PLAN ELEMENT 9: Fairmount Cemetery**

The Specific Plan provides access to, and provides a buffer for, the Fairmount Cemetery.



*End of Baldy Vista Avenue*

*"A public street connection between the north and south Specific Plan areas will occur."*

**PLAN ELEMENT 10: Covina Canal**

The Specific Plan resolves a number of function, flow, and maintenance matters related to the facilities related to the Covina Canal, which will have a new easement to account for any relocation.

**PLAN ELEMENT 11: Access to Existing Property**

The Specific Plan will respect the right of access for existing properties. In many instances refining and further formalizing access within the context of contemporary engineering and street design standards.

**PLAN ELEMENT 12: Linear Park**

The Specific Plan will include a new linear park adjacent to the Burlington Northern Santa Fe Railroad (and proposed future Gold Line) tracks. The park will include elements similar to those that exist in the Arboreta development east of Barranca Avenue, including a drainage swale, and a bike/pedestrian trail.



*The Specific Plan Area accounts for access to, and provides a buffer for Fairmount Cemetery.*

**D. GUIDING PRINCIPLE**

**GUIDING PRINCIPAL: Neighborhood Continuity & Integration**

The Specific Plan will include development guidelines derived from an understanding of the existing neighborhood that address bulk, mass, setbacks, height, and number of floors. It will complete a vehicle and pedestrian circulation system that unifies the neighborhood from north to south. It will develop infrastructure systems that account for water, sewer and drainage demands. The plan will propose new public linear park.

**E. PUBLIC BENEFITS**

This Specific Plan provides the following public benefits:

**PUBLIC BENEFIT 1: Land Use Certainty**

The Specific Plan includes a final land use plan for the 95 acres that used to house a nursery operation. It establishes that the Specific Plan will be developed as 124 detached single-family residences on lots of at least 20,000 square feet, putting to rest many concerns about the future use of the land.

***PUBLIC BENEFIT 2: Settles the Issue of Road Extensions***

The Specific Plan proposes the extension of Baldy Vista Avenue, it also confirms that Calera Avenue will not be extended and that West Danton Drive and Oakbank Drive will only have emergency access beyond their current limits. The Specific Plan proposes no roadway extension west to Monrovia Lane/Citrus Avenue in the City of Azusa. However, it will provide a restricted link for emergency and pedestrian access only.

***PUBLIC BENEFIT 3: No Cut-Through Street Connections***

By not connecting the Specific Plan street system west into the City of Azusa to Monrovia Lane/Citrus Avenue, the Specific Plan will not result in a cut-through connection between Citrus Avenue and Barranca Avenue in the City of Glendora, and the City of Azusa.

***PUBLIC BENEFIT 4: Minimize Traffic***

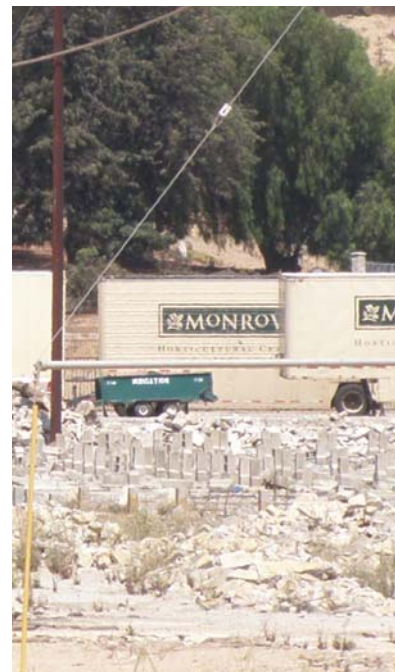
The build out of 124 detached single-family residences on lots of a minimum 20,000 square feet will generate less traffic than other types of land use options, such as multiple-family, or certain non-residential uses. This minimizes the traffic impact of the development on the local neighborhood.

***PUBLIC BENEFIT 5: Safer Sierra Madre Avenue***

Sierra Madre Avenue will be widened with more defined shoulders and edges, plus the introduction of a safe sidewalk and an improved intersection at Barranca Avenue.

***PUBLIC BENEFIT 6: Minimal New Rights-of-Way***

The Specific Plan requires that new street sections meet current City of Glendora engineering design standards, but it does not require the widening of local streets outside of the Specific Plan, with the exception of improvements to Sierra Madre Avenue, a portion of Milton Drive, Yucca Ridge, as well as small portions of Barranca Avenue at Sierra Madre Avenue where proposed connections are to be made.



*It establishes that the Specific Plan will be developed as 124 detached single-family residences on lots of at least 20,000 square feet, putting to rest many concerns about the future use of the undeveloped land formerly occupied by the Monrovia Nursery.*

***PUBLIC BENEFIT 7: Drainage Solutions***

The Specific Plan provides for a comprehensive approach to drainage problems through proposed on-site and off-site improvements. New storm drains are planned at Calera Avenue, Donington Street, Baldy Vista Avenue, and Leadora Avenue to minimize storm flows within the local streets and in Baldy Vista Creek.

***PUBLIC BENEFIT 8: Assured Privacy***

Where new homes are planned adjacent to existing residences, lot orientation and pad height/separation will help minimize concerns for privacy. Where necessary, some lots in the Specific Plan area will be restricted to one story only.

***PUBLIC BENEFIT 9: Improved Sewer Connections***

Underperforming sewer segments are located below Foxglove Court, between Danton and Oakbank Drive, and most of the segment at Newhill/ Foothill between Oakbank & Citrus. The general function of the sewer network will be improved as part of the implementation of the Specific Plan.

***PUBLIC BENEFIT 10: A New Linear Park***

A linear park containing many attributes similar to the existing linear park within the Arboreta Specific Plan east of Barranca Avenue is proposed.

***PUBLIC BENEFIT 11: Dependable Water Supply and Water Pressure***

An adequate water infrastructure system will be provided. A hydraulic study will be conducted as part of the implementation of this Specific Plan which will determine water line size.

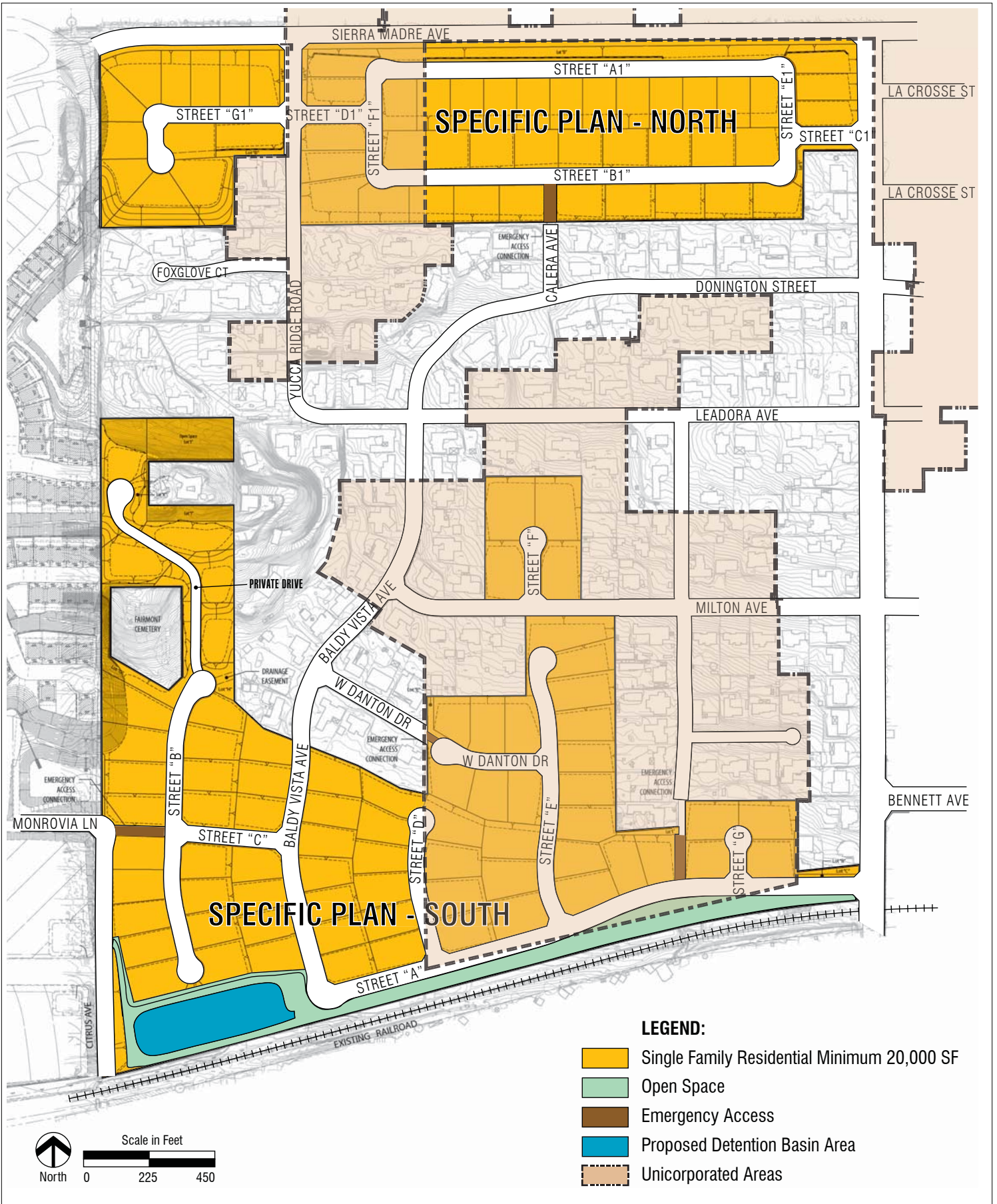


*Sierra Madre Avenue will be widened with more defined shoulders and edges, plus the introduction of a safe sidewalk and an improved intersection at Barranca Avenue.*

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■ MASTER PLAN



# Master Plan



## A. LAND USE PLAN

The following are the specific proposed plans for the 95-acres within the Specific Plan:

### *Land Use Within Specific Plan – North*

1. The northern Specific Plan east of Yucca Ridge Road includes 38 single-family residential lots of a minimum 20,000 square feet, served by an internal “loop” street with access to Yucca Ridge Road and Barranca Avenue.
2. The northern Specific Plan west of Yucca Ridge Road includes 12 single-family residential lots of a minimum 20,000 square feet, served by a cul-de-sac street with access to Yucca Ridge Road.

### *Land Use Within Specific Plan – South*

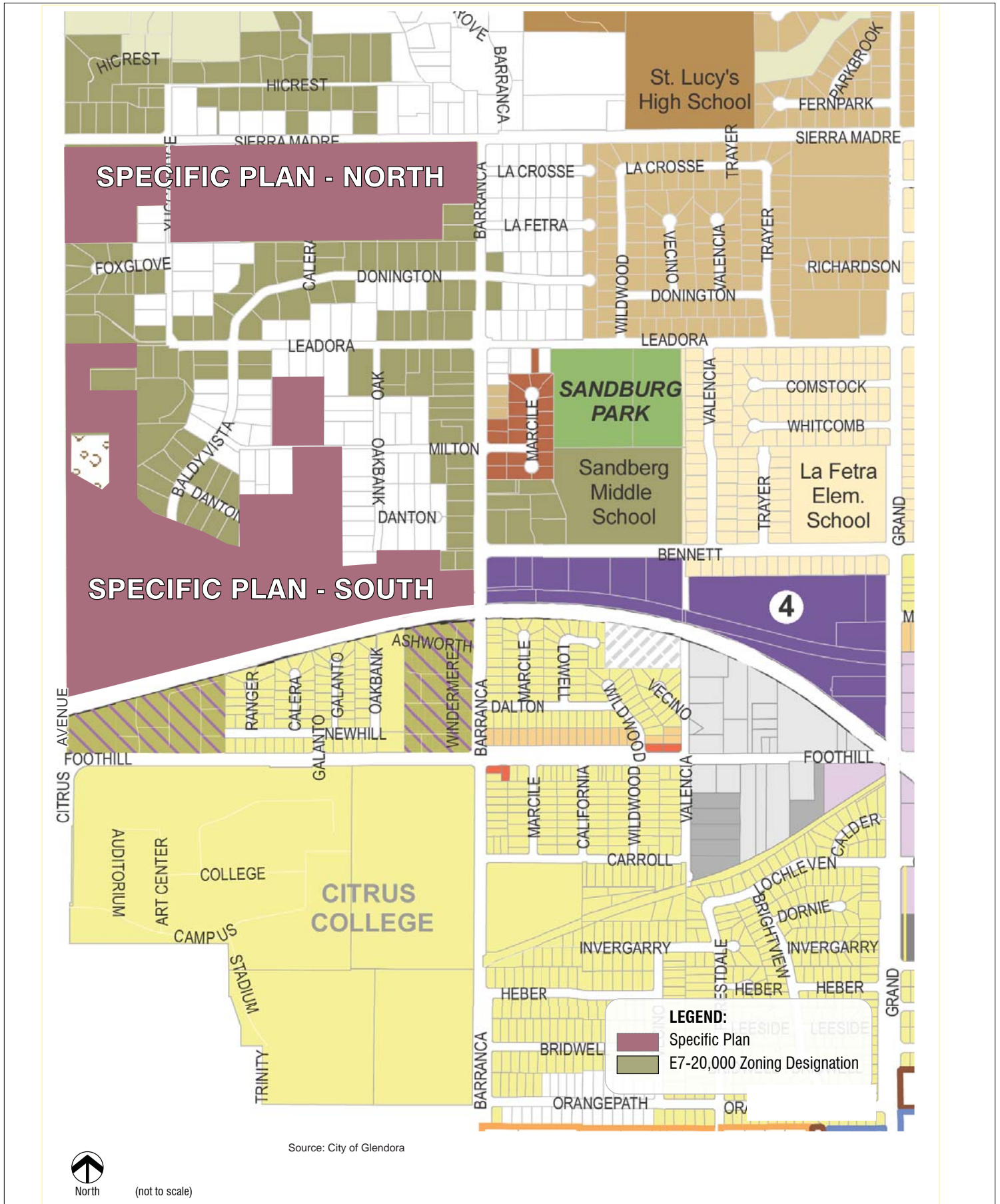
1. The southern Specific Plan includes 74 single-family residential lots of a minimum 20,000 square feet, served by an extension of Baldy Vista Avenue that proceeds south then east to Barranca Avenue.
2. The design accounts for access provisions concerning a private agreement that the Monrovia Nursery property owners made regarding the Fairmount Cemetery.
3. A private drive will serve a residence north of Fairmount Cemetery and five new residential lots of at least 20,000 square feet.
4. A linear park along the Burlington Northern Santa Fe Railroad right-of-way has been included. The park includes a trail; an extension of the trail in place east of Barranca Avenue within the Arboreta planned community.
5. A storm water detention facility in the southwest corner of the Specific Plan is proposed, replacing the existing Citrus basin.



*A linear park along the Burlington Northern Santa Fe Railroad right-of-way has been included. The park includes a trail; an extension of the trail in place east of Barranca Avenue within the Arboreta planned community.*



EXISTING ZONING & GENERAL PLAN DESIGNATIONS



**B. ZONING & GENERAL PLAN**

The Specific Plan area is currently zoned for, and designated as detached single family residential and will remain as such.

*Zoning*

Although the actual zoning for the Specific Plan area will be “SP” (Specific Plan), development will adhere to the provisions of the Specific Plan and also use the City of Glendora’s E-7 20,000 Zoning District standards as a guide. The Specific Plan requires minimum 20,000 square foot lots.

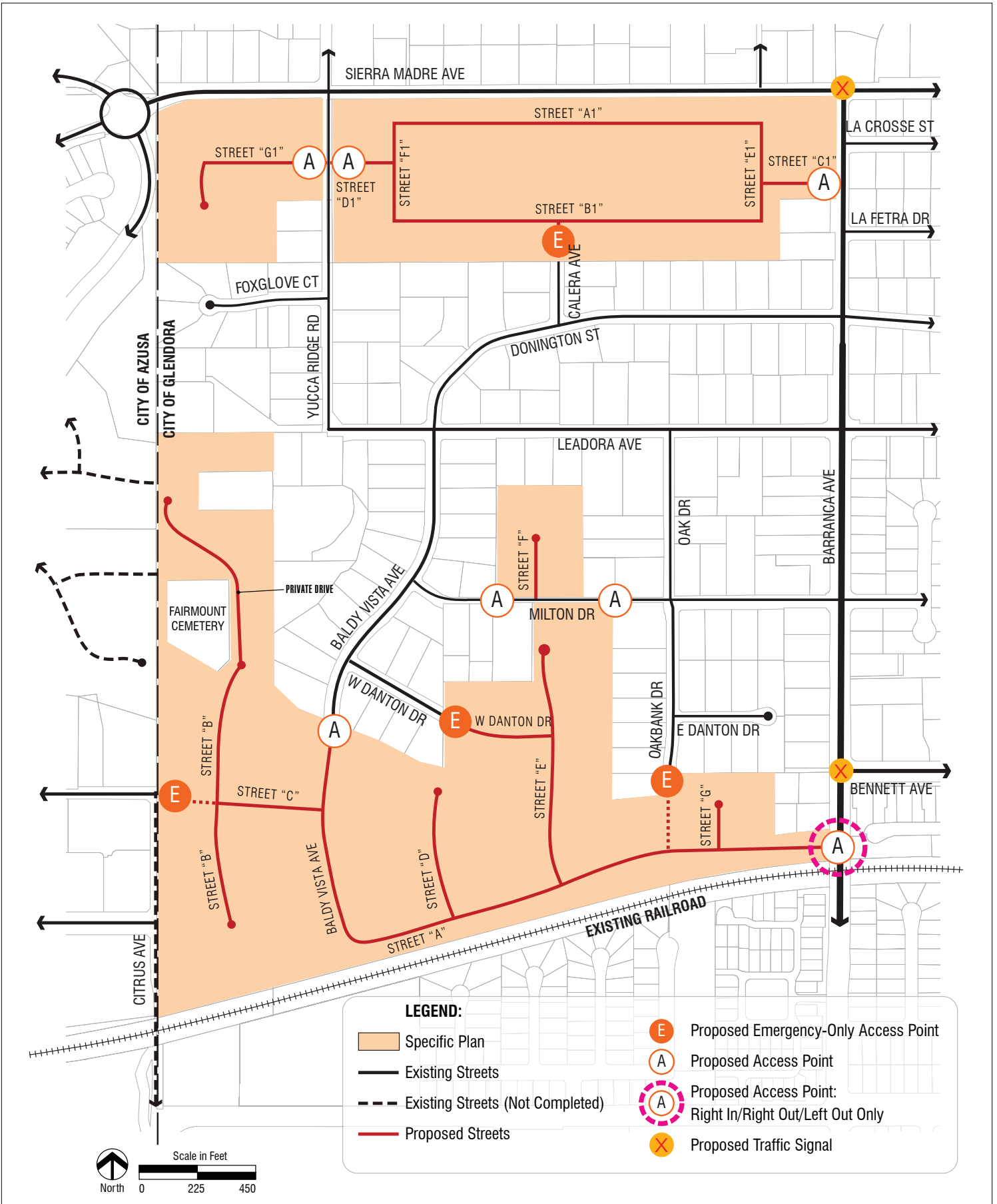
*General Plan*

The Specific Plan is in conformance with and consistent with the General Plan maintaining the properties’ current Low-Density Residential designation (1-3 du/ac).



*The Specific Plan area is currently zoned for and designated detached single family residential and will remain as such.*

■ PROPOSED CIRCULATION





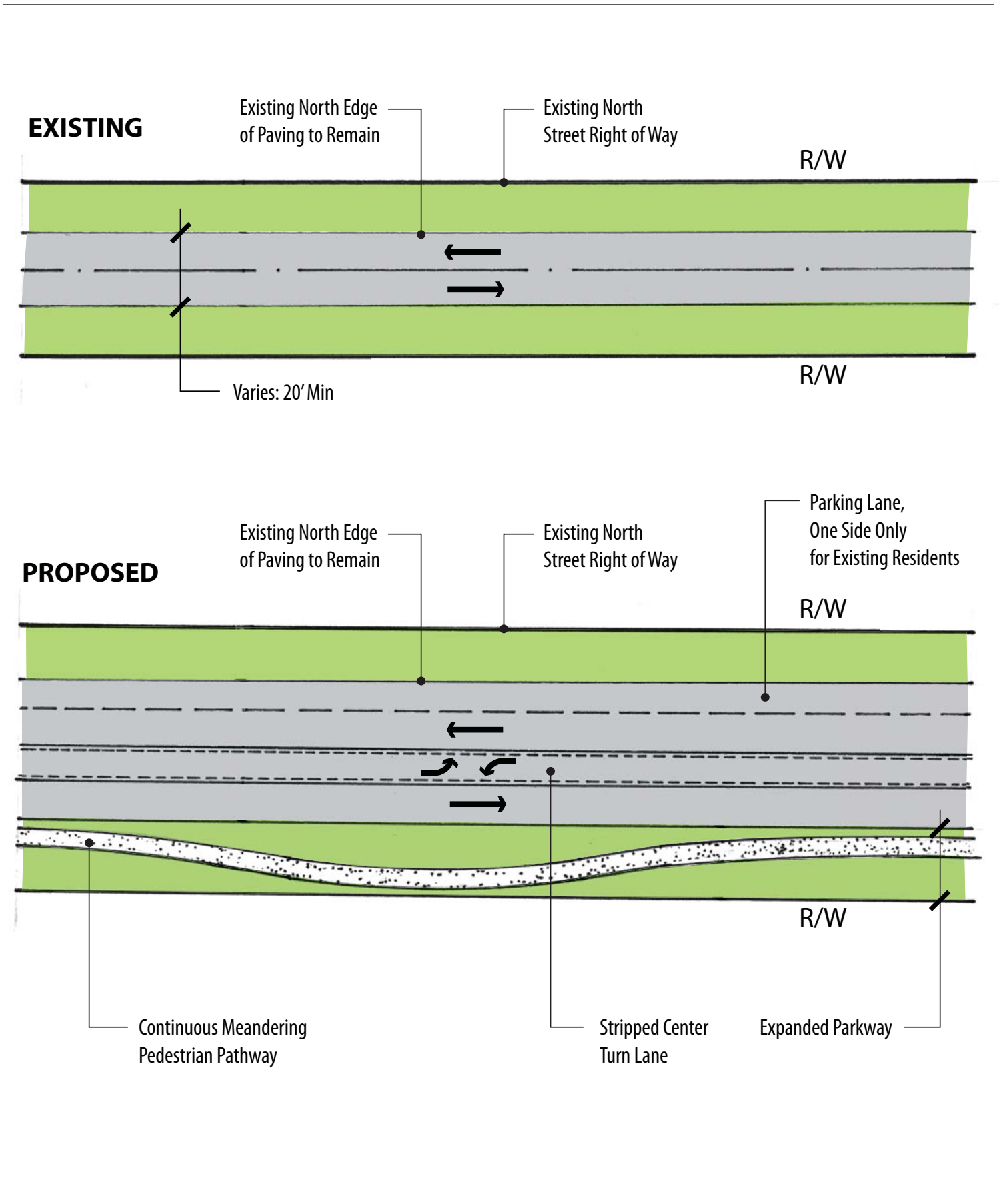
## **C. CIRCULATION**

### **1. *Project Access / Circulation / Street Improvements***

As shown on the map on the facing page, several new streets and street extensions are proposed in the Specific Plan. Street designs for all proposed new streets and street extensions are shown on pages 22-25.

#### ***Within the Specific Plan – North***

1. LOOP STREET: An internal “loop” street serves the northern Specific Plan area east of Yucca Ridge Road with access to Yucca Ridge Road and Barranca Avenue.
2. CUL-DE-SAC: A cul-de-sac street serves the northern Specific Plan west of Yucca Ridge Road with access to Yucca Ridge Road.
3. NO DIRECT CONNECTION TO SIERRA MADRE: No new road has a direct connection to Sierra Madre Avenue.
4. CALERA DRIVE UNEXTENDED: Calera Avenue remains unextended, with the exception that lockable decorative bollards will allow emergency access to the northern Specific Plan through the existing terminus of Calera Avenue.
5. BARRANCA / SIERRA MADRE TRAFFIC SIGNAL: A new traffic signal with pedestrian-crossing cuing and amenities at Barranca Avenue and Sierra Madre Avenue.



### *Within the Specific Plan – South*

1. BALDY AVENUE EXTENSION: The southern Specific Plan area will be served by an extension of Baldy Vista Avenue that will extend south then east to Barranca Avenue.
2. STREET NETWORK: A street connecting to Barranca Avenue is proposed that reaches the border with Azusa, but does not cross the boundary. Four streets link to this street, creating a network that serves Specific Plan - South.
3. PRIVATE DRIVE: A private drive serves five lots and an existing home and provides access to Fairmount Cemetery.
4. TRAFFIC SIGNAL: A traffic signal is recommended at the intersection of Barranca Avenue and Bennett Avenue to provide a means of access from the Specific Plan area to the existing linear park in the Arboreta Specific Plan area.



#### *PROPOSED SIERRA MADRE AVENUE*

*The proposed improvements to Sierra Madre Avenue include a sidewalk, landscaping, and shoulders and curb, similar to the roadway depicted in the photo above.*

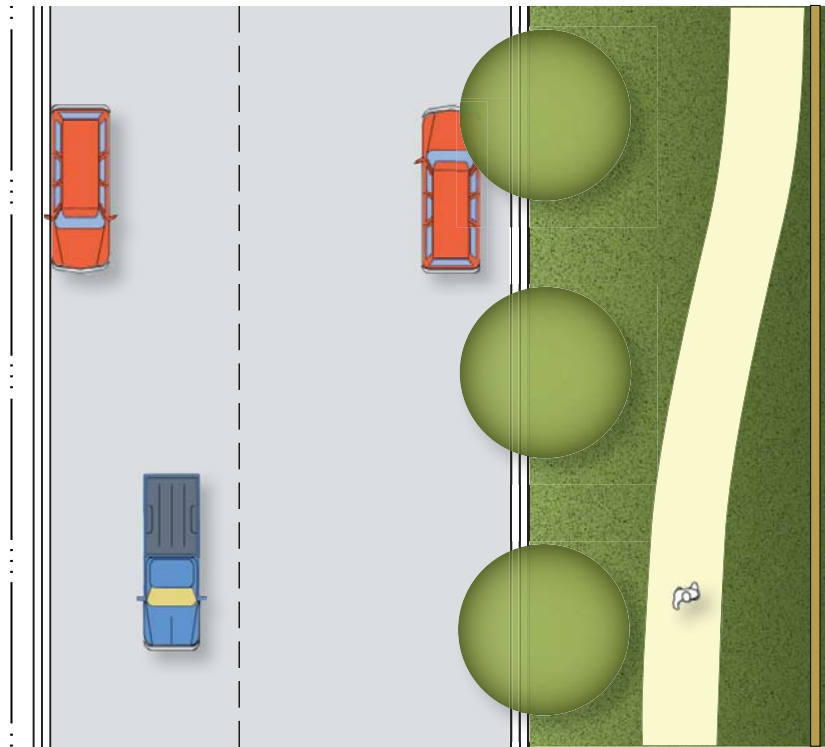
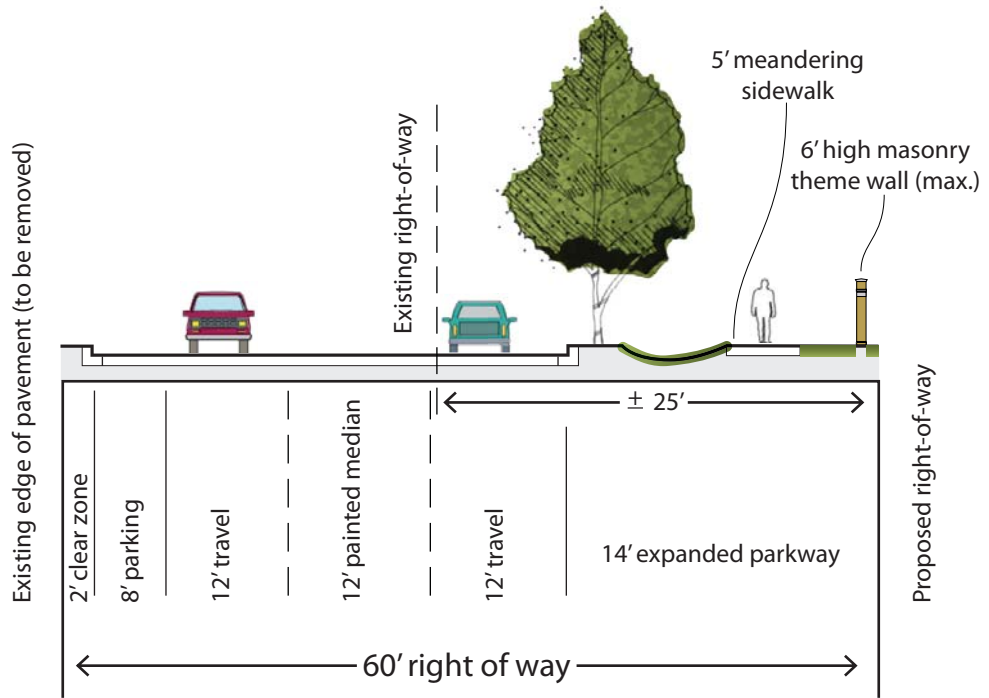
### **2. Emergency Access Points**

1. EMERGENCY ACCESS: Four emergency access points are located on the map on the facing page, and detailed designs of each are shown on pages 26-29.

### **3. Sierra Madre Avenue Widening**

Sierra Madre Avenue is an important and popular route that forms the northern edge of the Specific Plan. It serves as a critical circulation element for automobiles and should serve as a safe and convenient pedestrian route, as well. However, in its current state Sierra Madre Avenue has, effectively, no pedestrian or bicycle facilities. The right of way consists of a narrow two-lane road with nearly no shoulders and a severe drop-off without any sidewalks, curbs, barriers or landscaping.

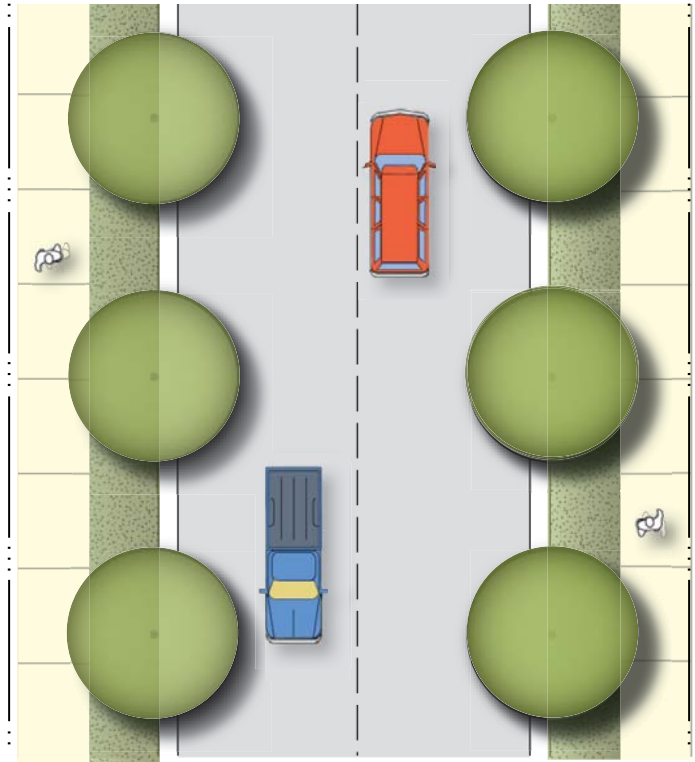
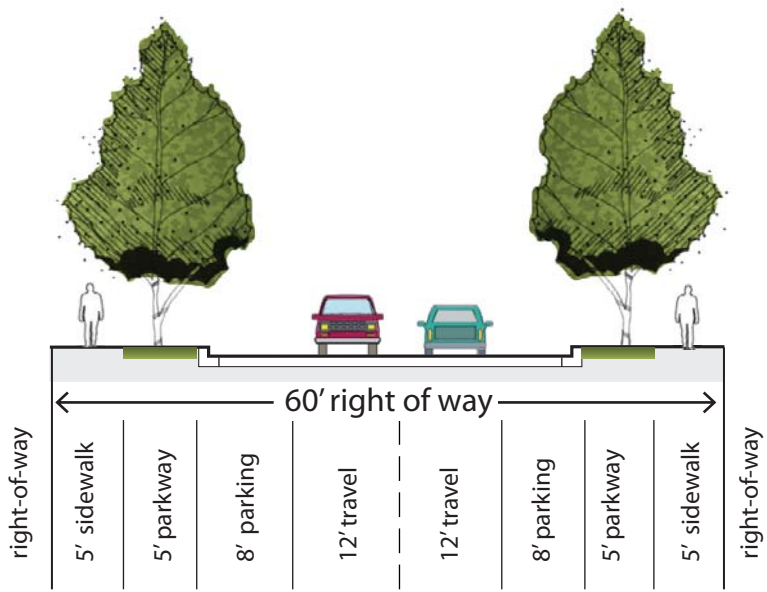
The Specific Plan calls for retaining the northern edge of pavement but regrading and widening the roadbed, adding an 8-foot on-street parking lane on the north and potentially, curb and gutter. Further to the south is a 12-foot westbound travel lane, an 12-foot center turn lane, and a 12-foot eastbound travel lane, and an 14-foot-wide landscape area with a sidewalk/trail and up to a 6-foot high masonry theme wall consistent with the delineation of existing subdivisions east of the Specific Plan area.



PLAN VIEW



**NORTH**  
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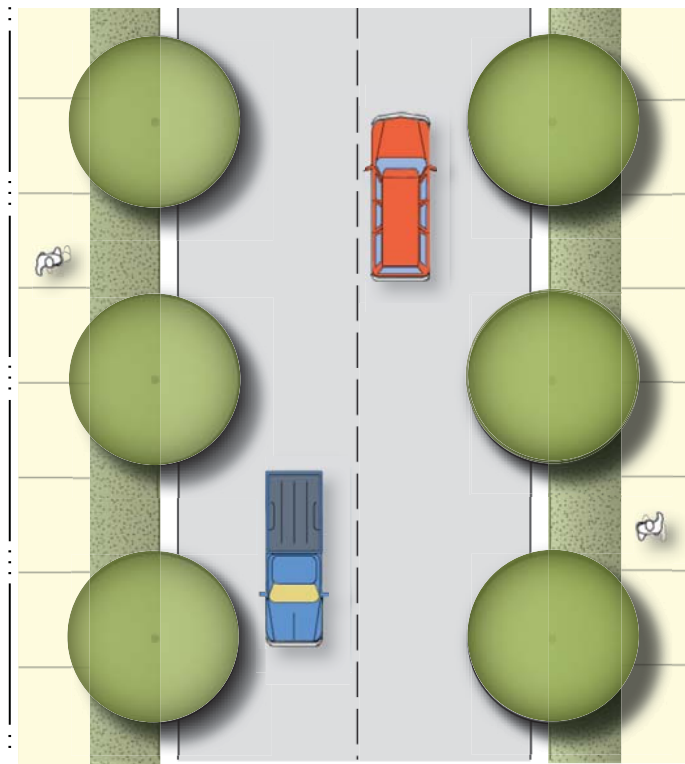
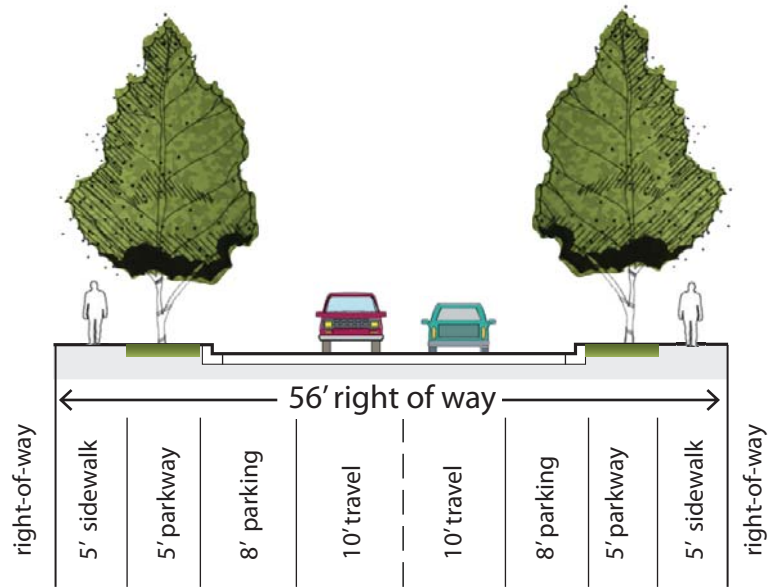
PLAN VIEW





■ STREET DESIGN

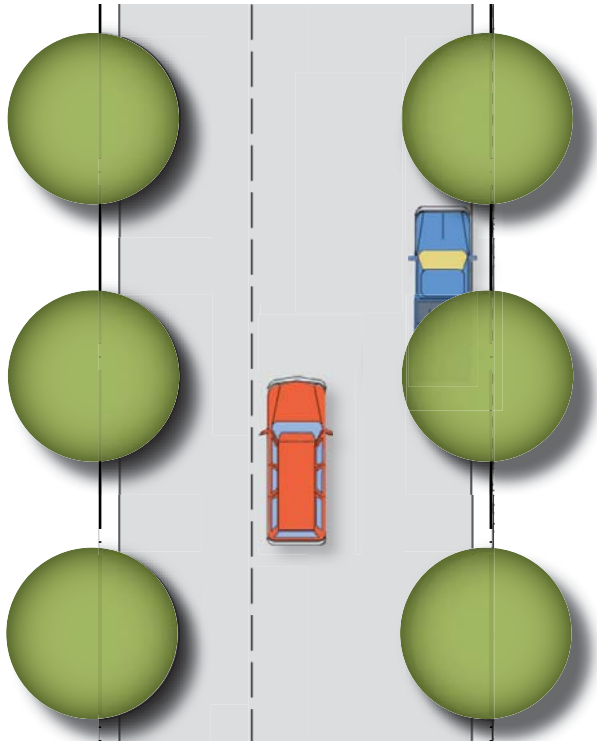
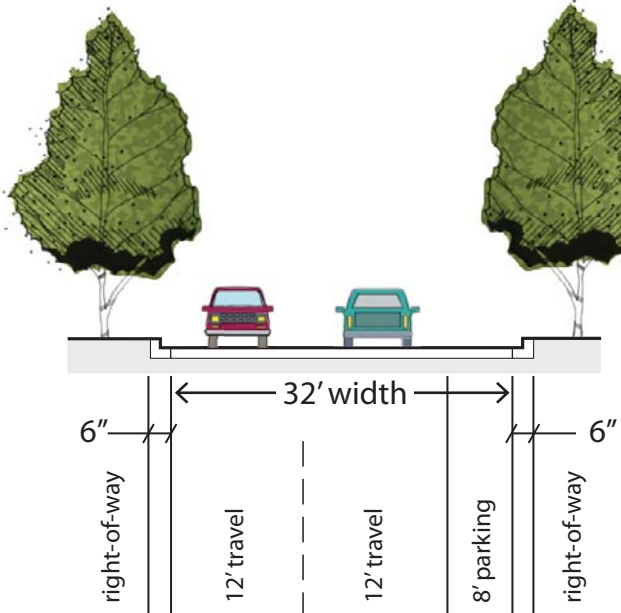
STREETS "A, B, E, F, G" (north) & "B, C, D, E, F, G" (south) & WEST DANTON DRIVE



PLAN VIEW



**NORTH**  
NOT TO SCALE

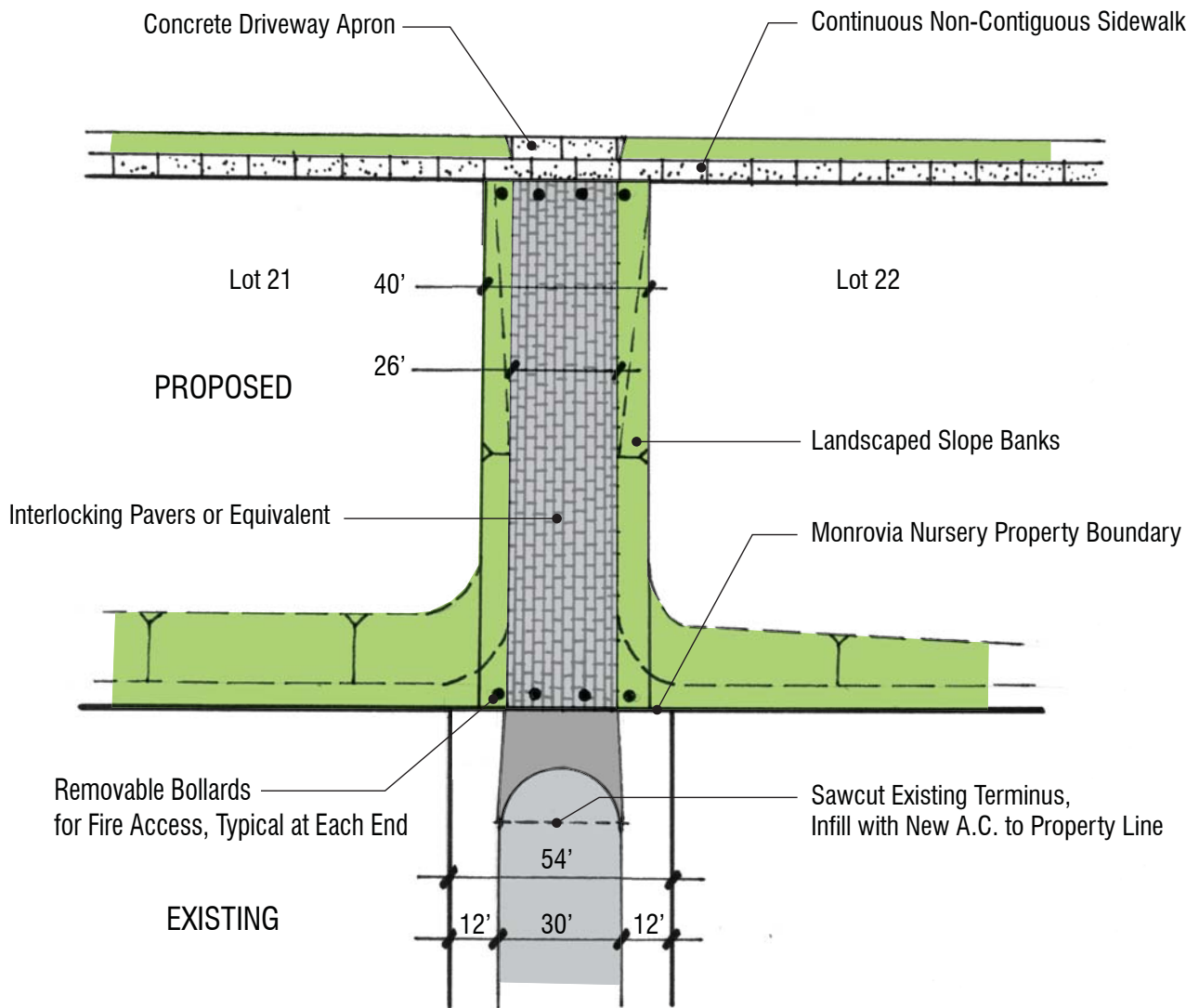
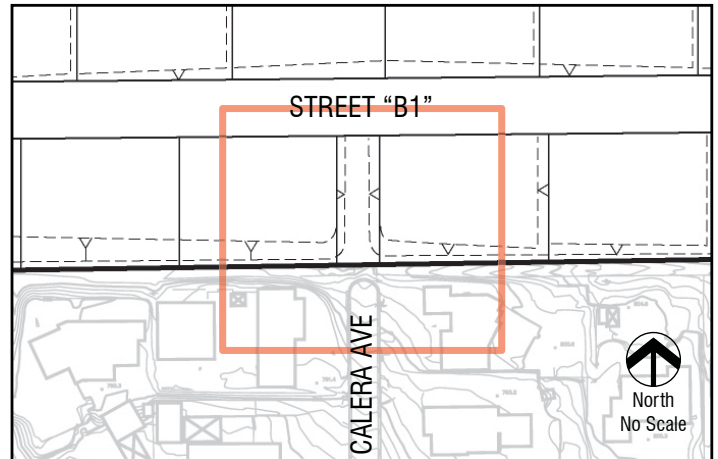


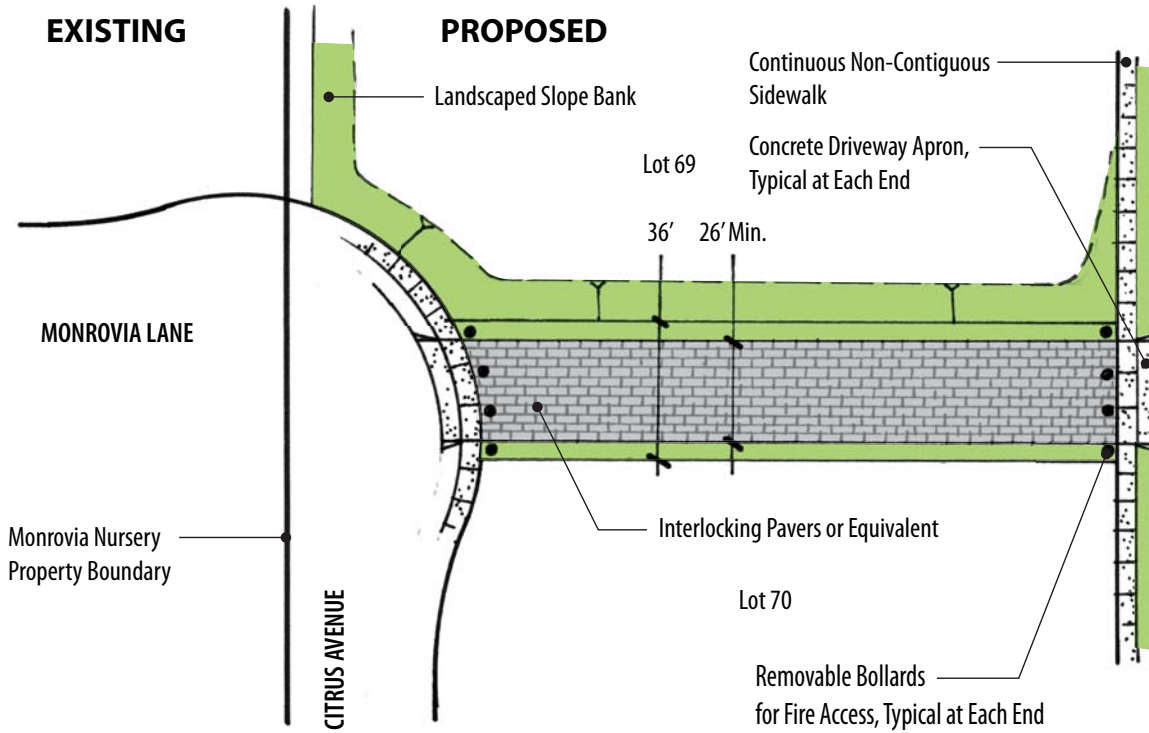
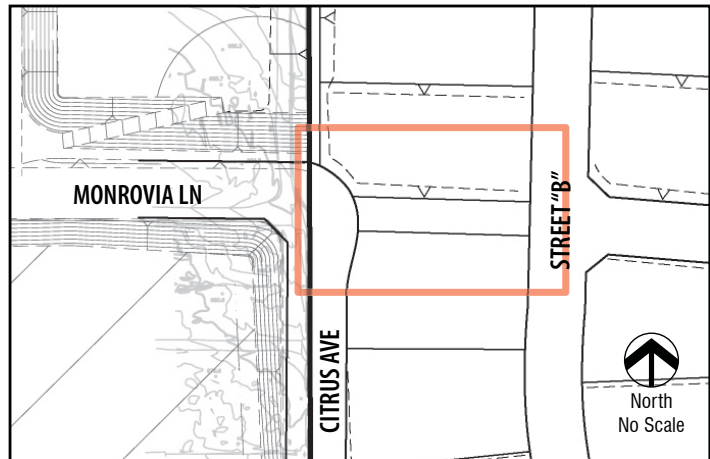
PLAN VIEW



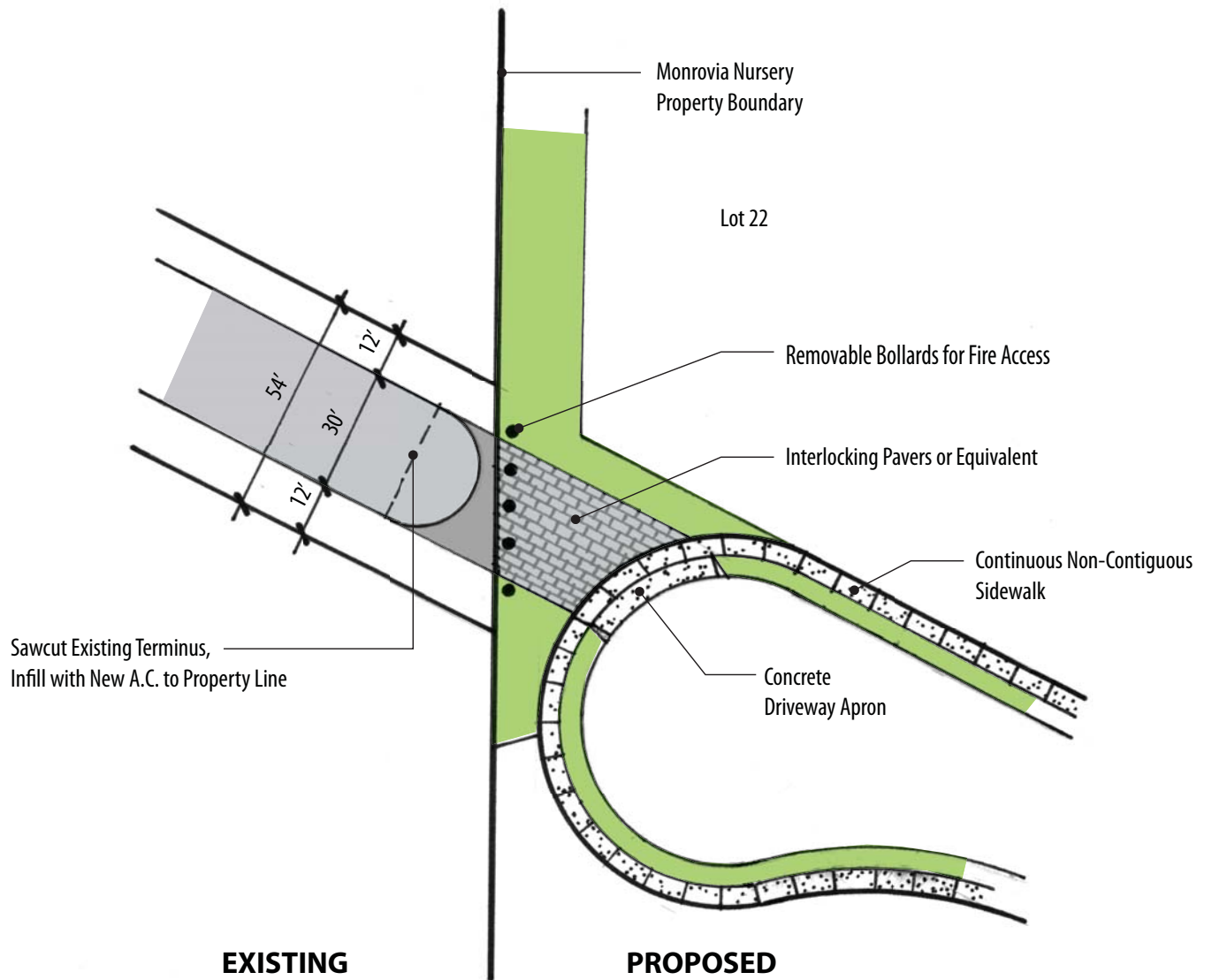
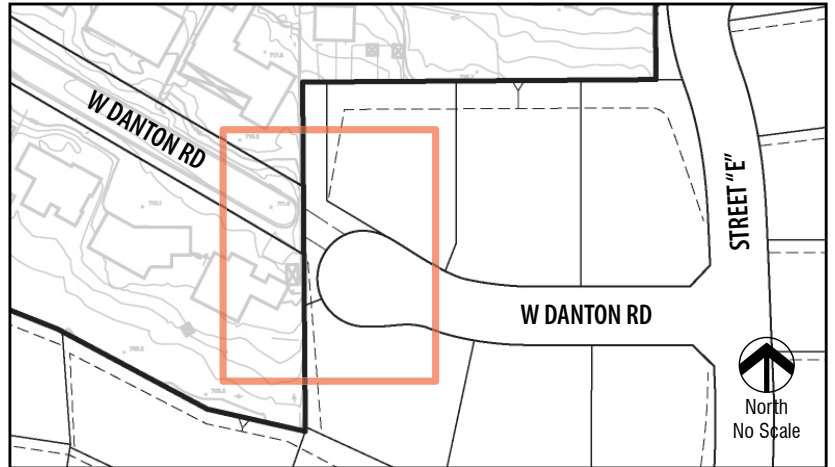
NORTH  
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EMERGENCY ACCESS – CALERA AVENUE

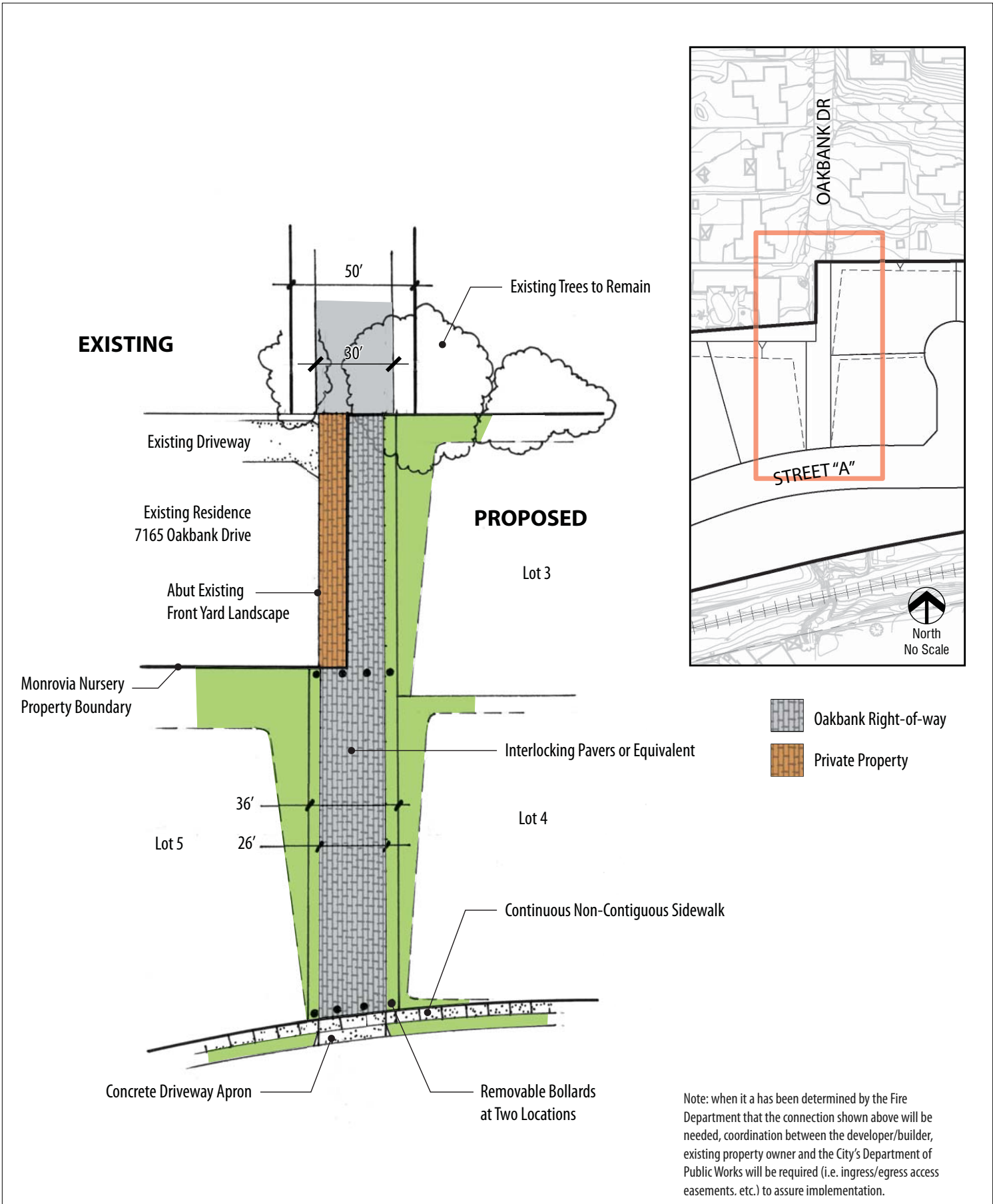




EMERGENCY ACCESS – WEST DANTON DRIVE





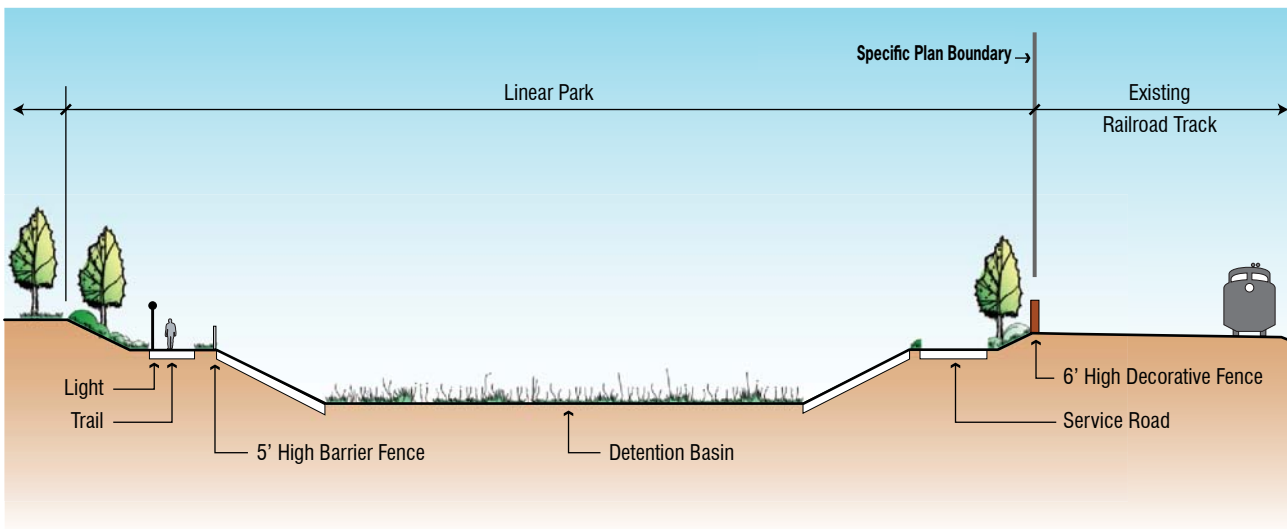




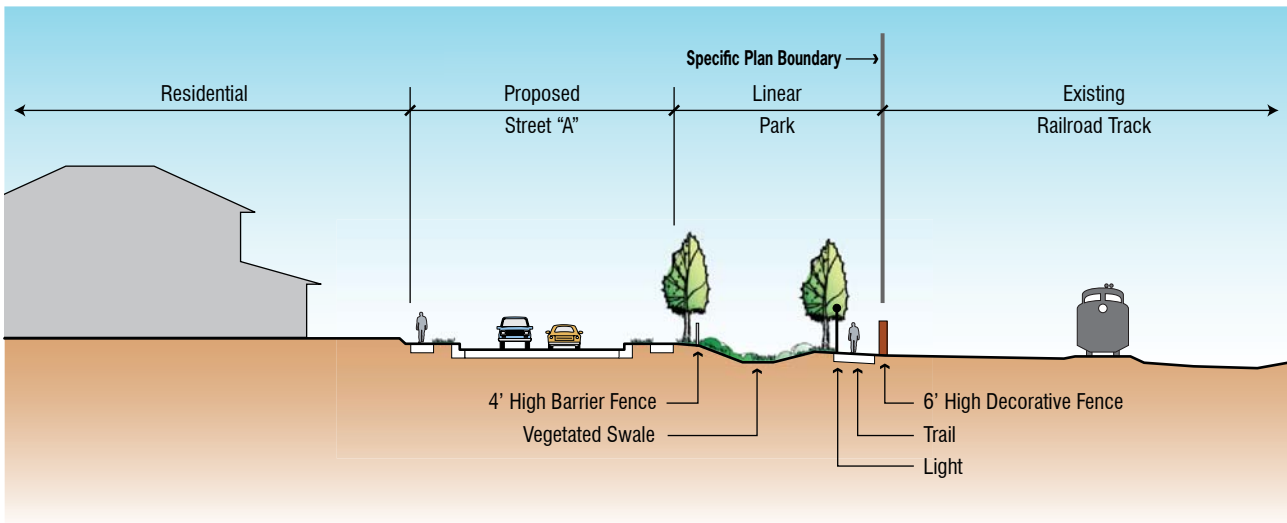
**4. Linear Park / Linear Sidewalk**

A linear park is proposed to be located at the southern extreme of the Specific Plan adjacent to the Burlington Northern Santa Fe Railroad right-of-way. The park serves as a continuation of the existing park and trail created with the Arboreta planned community (see the Arboreta Specific Plan) east of Barranca Avenue. A portion of the park functions as a water quality facility by incorporating drainage swales. The park includes a decorative fence separating the park from the railroad right of way.

■ LINEAR PARK CROSS SECTIONS "A-A" "B-B"

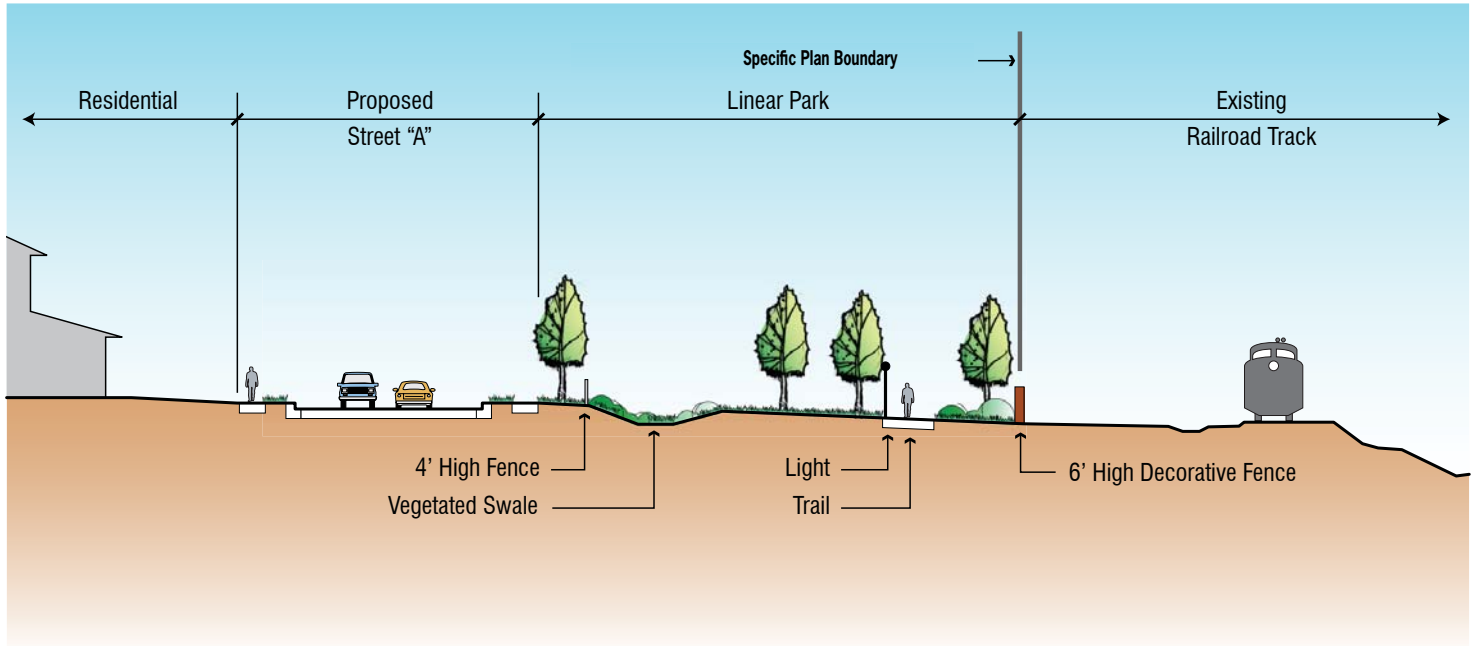


**Cross Section "A-A"**  
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**Cross Section "B-B"**  
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■ LINEAR PARK CROSS SECTION 'C-C'



**Cross Section "C-C"**  
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Arboreta Specific Plan Linear Park Photos

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■ GRADING PLAN



## **D. GRADING PLAN**

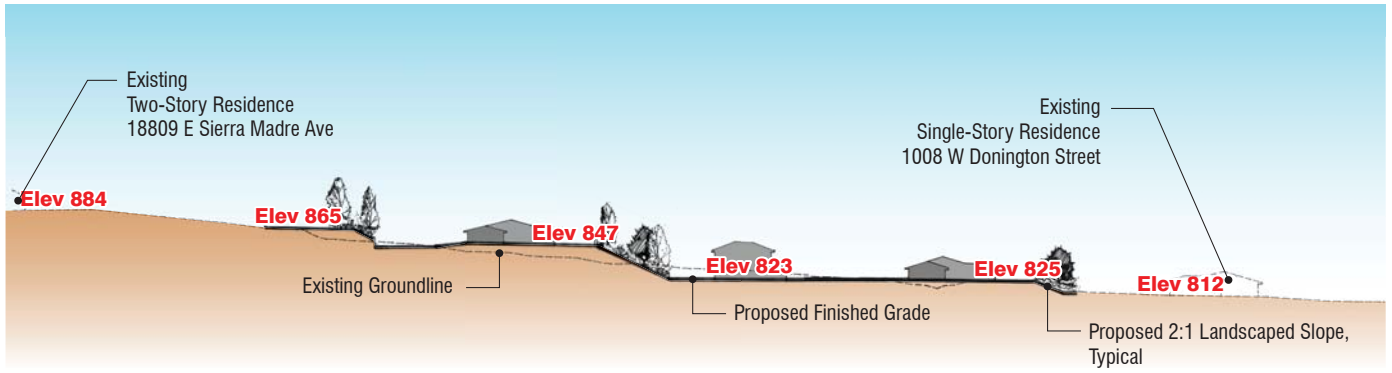
### **1. Grading Plan & Grading Cross Sections**

Grading is to conform to the final geotechnical report as part of the approval process of any subdivision or parcel map and applicable local grading regulations. The Monrovia Nursery property has been used as a commercial nursery for several decades and has been graded for that purpose. This Specific Plan transforms this land into two residential lot subdivisions with minimum 20,000 square-foot parcels; this will require new grading which will conform to this Specific Plan.

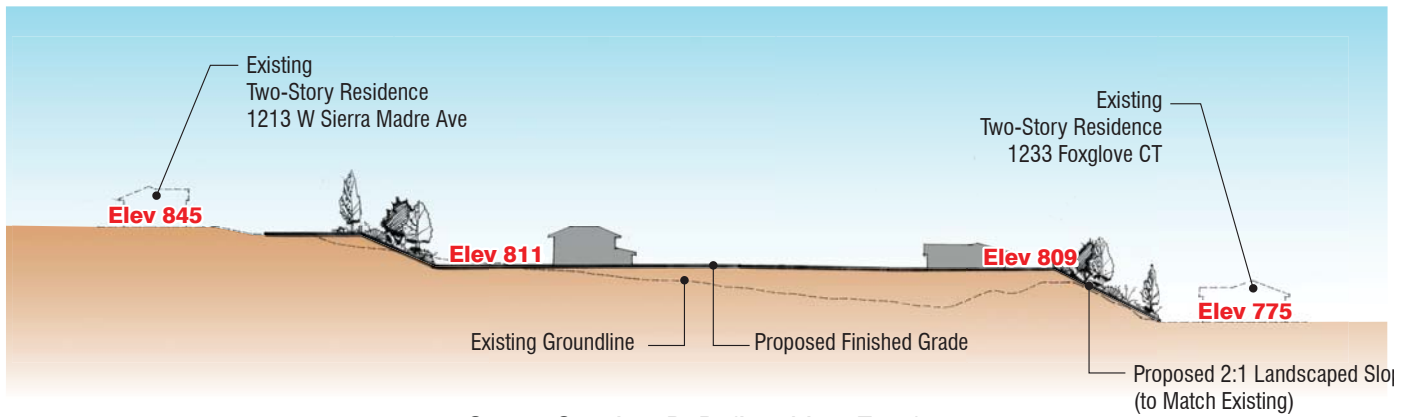
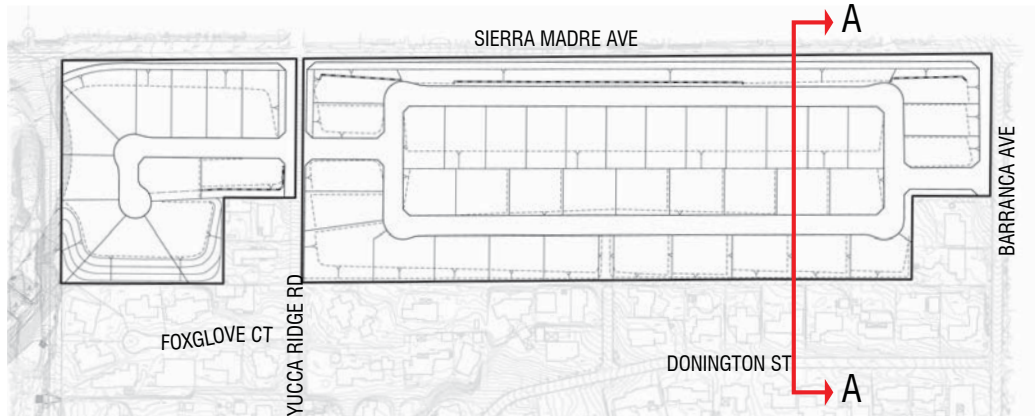
The northern Specific Plan generally slopes to the south at an approximate grade of 10% with an approximate 65' elevation change across the site which is only 600 feet wide. The site is bound to the north by Sierra Madre Avenue, Barranca Avenue to the east, and existing residential lots to the south and west. To accommodate this grade difference within the project site, the grading plan has been sensitive to grade transitions to avoid the feel of new structures "towering" over the existing residences. The site is kept at an elevation below Sierra Madre to help diminish the vertical difference across the site and will also allow the residences on the north side of Sierra Madre to continue to enjoy their views to the south. The slopes in this area are kept at an approximate maximum height of 25' to help reduce the vertical difference to the existing residences to the south and between proposed residences in this new subdivision.

The southern Specific Plan slopes generally to the southwest. The low point of the site is at the corner of Citrus Avenue and the existing Burlington Northern Santa Fe Railroad (the southwest corner of the Specific Plan). As such, the project's detention basin is located here. The grading of this southern site is dominated by the existing edge conditions, as the site is adjacent to existing residences to the north, east, and west, and the existing BNSF Railroad to the south. The proposed grading of this area reduces the size of the slopes between the new and existing residences to better blend the site into the neighborhood while also balancing the site.

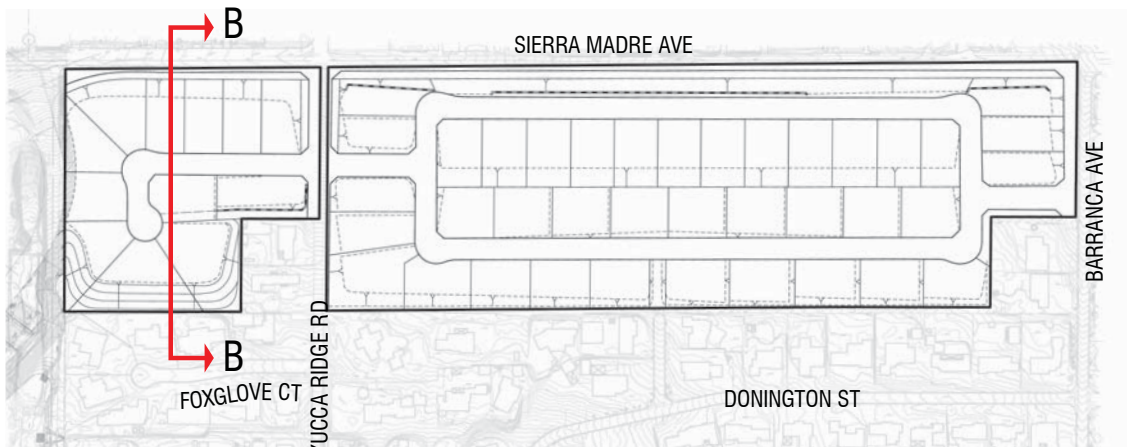
■ SPECIFIC PLAN - NORTH CROSS SECTIONS "A-A" "B-B"



Cross Section A-A (Looking East)



Cross Section B-B (Looking East)



The Fairmount Cemetery is surrounded by the Specific Plan. In response, the plan maintains access to, and includes a landscape buffer around, the historic cemetery.

A private street is included to the highest point of the southern project site, north of the Fairmount Cemetery to access five (minimum 20,000 square foot) lots and to provide access to the existing residence on top of the hill at 1326 Sierra Madre Avenue. This private street will not exceed a maximum grade of 15%.

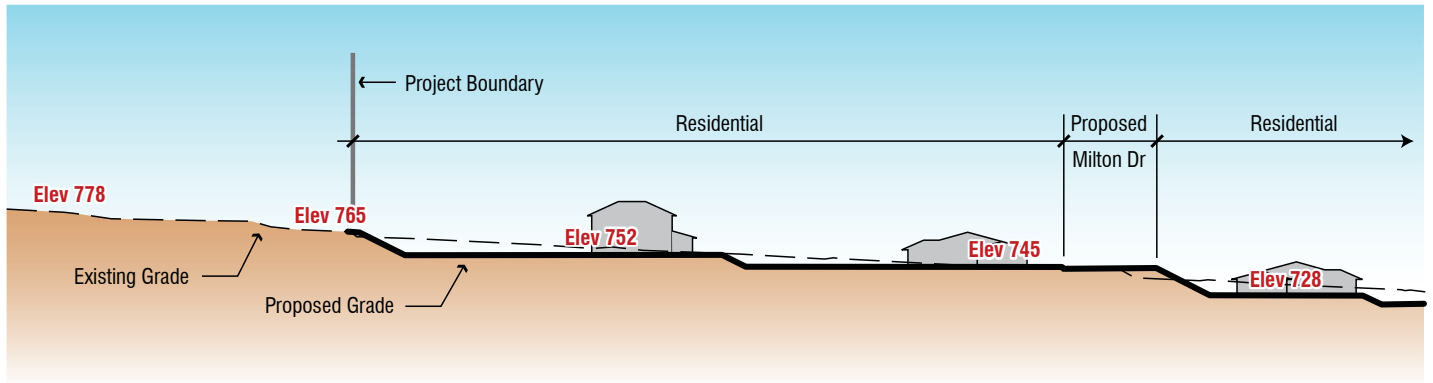
To insure that all existing facilities, utilities and easements are taken into account, and that the grading is within appropriate guidelines for all agencies affected by the project, the developer's engineer shall submit the grading plans to all affected agencies for review and approval prior to the issuance of a grading permit from the City of Glendora.

#### *GRADING PLAN DEVELOPMENT STANDARDS*

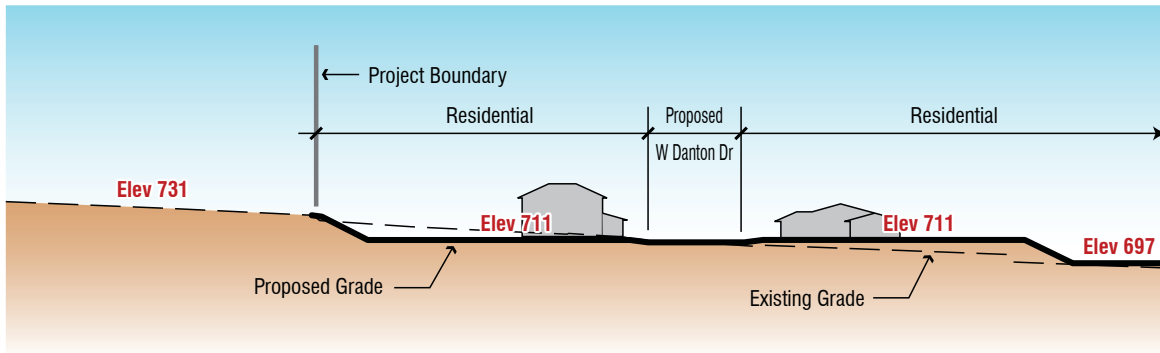
1. All grading must be in substantial conformance with the overall Conceptual Grading Plan, The Uniform Building Code, Chapter 70, and City of Glendora standards and ordinances.
2. Prior to any development within any area of the Specific Plan, an overall Conceptual Grading Plan for the portion in process shall be submitted for Planning Department approval as required. The Grading Plan for each area shall be used as a guideline for subsequent detailed grading plans for individual stages of development within that area, and shall include preliminary pad and roadway elevations.
3. Unless otherwise approved by the City of Glendora, all cut and fill slopes shall be constructed at inclinations of no steeper than two (2) horizontal feet to one (1) vertical foot.
4. A Phase One Environmental Site Assessment has been completed within the Specific Plan that resulted in the detection of concentrations of unacceptable contaminated soils. The grading contractor shall be required to comply with the remedial recommendations set forth within the Assessment to the satisfaction of the City of Glendora, Department of Public Works.



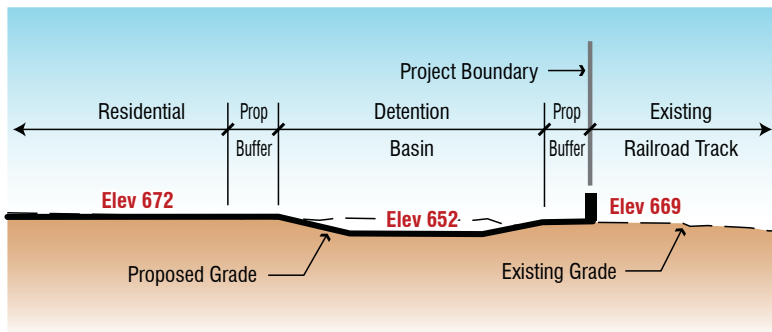
■ SPECIFIC PLAN - NORTH CROSS SECTIONS "C-C" "D-D" "E-E"



**Cross Section "C-C"**  
Not to Scale

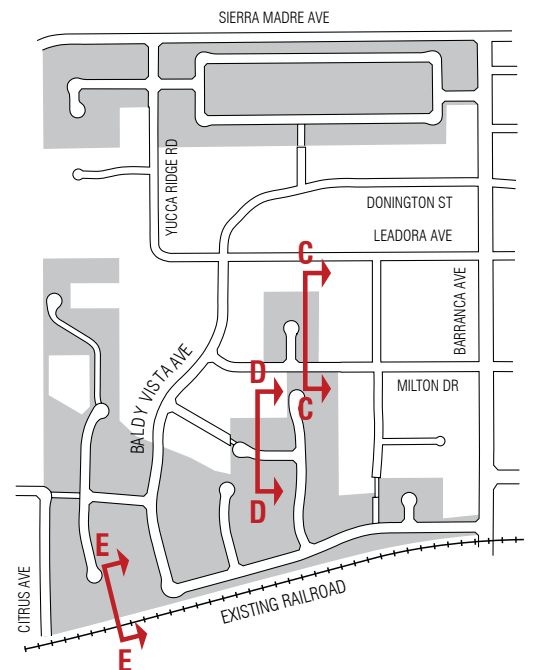


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**Cross Section "E-E"**  
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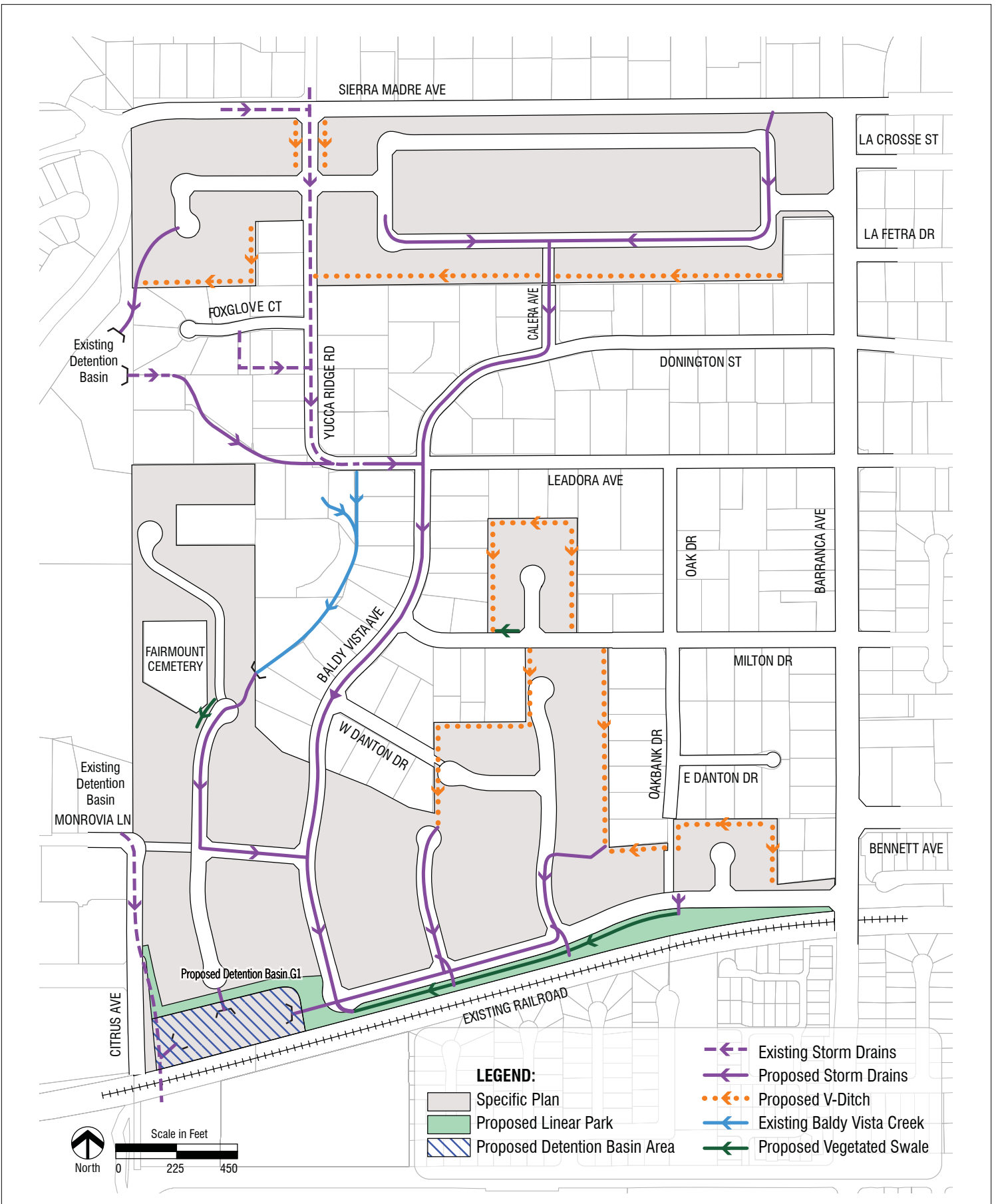
Key Map



5. A grading permit shall be obtained from City of Glendora, prior to grading.
6. Grading activity shall comply with South Coast Air Quality Management District, Rule 403.
7. Erosion control practices shall be implemented during grading activities.
8. The grading contractor shall be required to obtain an encroachment permit from any agency or City prior to entering any public rights-of-way.
9. All construction activities, including clearing, grading, or excavation that results in the disturbance of at least one acre total land area, or activity which is part of a larger common plan of development of one acre or greater shall obtain the appropriate National Pollutant Discharge Elimination System (NPDES) construction permit and pay the appropriate fees. All development within the Specific Plan boundaries shall be subject to future requirements adopted by the City of Glendora to implement the NPDES program.



■ STORM WATER PLAN



## E. DRAINAGE & FLOOD CONTROL

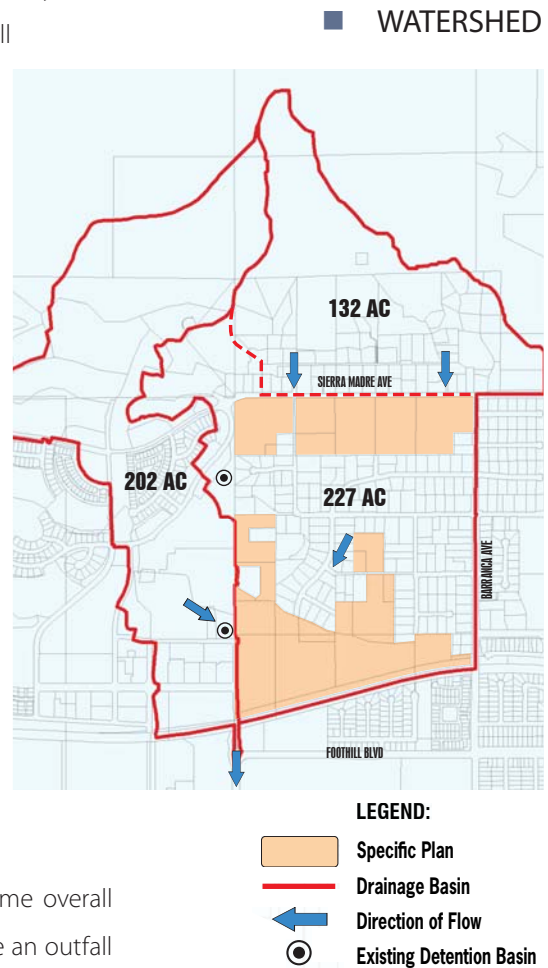
The Specific Plan has addressed several key issues related to drainage and water quality design requirements. The proposed drainage plan will help alleviate existing flooding concerns, adequately convey proposed storm water runoff within proposed storm drain systems, and will include the use of existing and proposed detention facilities on-site and off-site to reduce peak runoff rates to levels equal to or less than pre-project levels and below the design capacity of the downstream storm drain system.

The proposed water quality plan for storm water runoff will help reduce the transport of urban pollutants that may occur on-site towards downstream receiving waters. Following are descriptions of the project area hydrology, detention, hydraulics, and water quality.

### 1. Hydrology

A preliminary drain, detention and SUSMP Analysis for Monrovia Nursery Project - Glendora Portion August 11, 2010 (Preliminary Drainage Report) for the Specific Plan has been prepared to analyze the hydrologic impacts of development for the north and south portions of the City of Glendora Monrovia Nursery project area. The Monrovia Nursery property was previously comprised of nearly 600 acres that extended across the City of Azusa and City of Glendora. A portion of the property was sold in recent years for the development of the City of Azusa portion, leaving the City of Glendora portion as a separate development project. This is an important consideration as both portions share the same overall watershed that is tributary through the project area and share an outfall location at the southwest corner of the Specific Plan, referred to as the 1264 Drain, located at the intersection of the existing railroad and Citrus Avenue which is maintained by Los Angeles County.

The preliminary hydrology for the Specific Plan includes a comprehensive analysis of the overall watershed, including both the City of Azusa and City of Glendora project areas that are tributary to the 1264 Drain. For the Specific Plan, the existing condition is considered the proposed condition



from the City of Azusa project, with the north and south portions of the Glendora project undeveloped. The proposed condition for the Glendora project models the north and south portions as developed, and uses a proposed storm drain alignment that conveys flows from the north to the south within Baldy Vista Avenue to the southwest corner of the project into a proposed detention facility, referred to as Facility G1.

## **2. Detention / Detention Basins**

The following list identifies the names and locations of existing and proposed detention basins that are relevant to the Specific Plan. (see *Storm Water Plan*, page 40, for locations)



### ***Facility 2B (existing)***

Located just west of West Leadora Avenue, on the City of Azusa side of the City boundary line. It was constructed as part of the Azusa project and was designed to discharge less than 40 cubic feet per second (cfs).

There are no physical modifications proposed for Detention Basin 2B. The northwest portion of the project will continue to drain through Detention Basin 2B. Due to the development, the amount of runoff entering and exiting the basin will increase compared to existing conditions, however, the design for 2B accounted for the future developed condition of this area. Therefore, the maximum water surface elevation (WSEL ) will remain within the basin and the maximum outflow will remain within the 40 cfs design criteria originally intended for the facility as a part of the adjacent City of Azusa.

*Existing Facility 4D is located further south along the City boundary line, and southwest of the existing Cemetery. It is located partially within the City of Azusa, and the City of Glendora.*

### ***Facility 4D (existing)***

Located further south along the City boundary line, and southwest of Fairmount Cemetery, this detention basin straddles the municipal boundary, existing within both the City of Azusa, and the City of Glendora.

The Specific Plan proposes that the Glendora portion of Detention Facility 4D be filled, fulfilling an agreement between the City of Azusa and the

City of Glendora. Then Glendora runoff is to be redirected to proposed Detention Facility G1. Detention Basin 4D would, therefore, experience a significant decrease in tributary area, a slight increase in the maximum WSEL for a 50-year design storm, and a significant decrease in maximum outflow into the existing storm drain system in Citrus Avenue. The increase in the maximum WSEL is acceptable since the maximum WSEL remains well below the top of basin elevation.

### ***Facility G1 (proposed)***

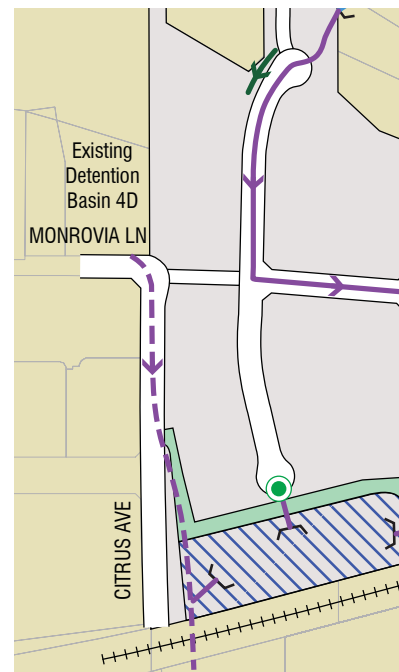
- Proposed to be located at the southwest corner of the Specific Plan and intended to replace the Glendora portion of Facility 4D. It would be installed near the northeast corner of the Citrus Avenue and existing Burlington Northern Santa Fe Railroad intersection.

Detention Basin G1 will be constructed as part of the Specific Plan and would receive runoff from a majority of the north and south portions of the Specific Plan, the tributary watershed north of Sierra Madre Avenue that will be conveyed through the Specific Plan, and from the existing neighborhood located between the north and south Specific Plan.

The resulting discharge rate at Outfall 2C (approximately 620cfs), into Los Angeles County Department of Public Works 1264 Drain (78-inch reinforced concrete pipe), will be less than the approved post-project flow rates in the approved August 2005 report prepared for the adjacent City of Azusa project, and significantly less than the approved design discharge flow rate of 920 cfs for the 1264 Drain (also identified in the August 2005 report).

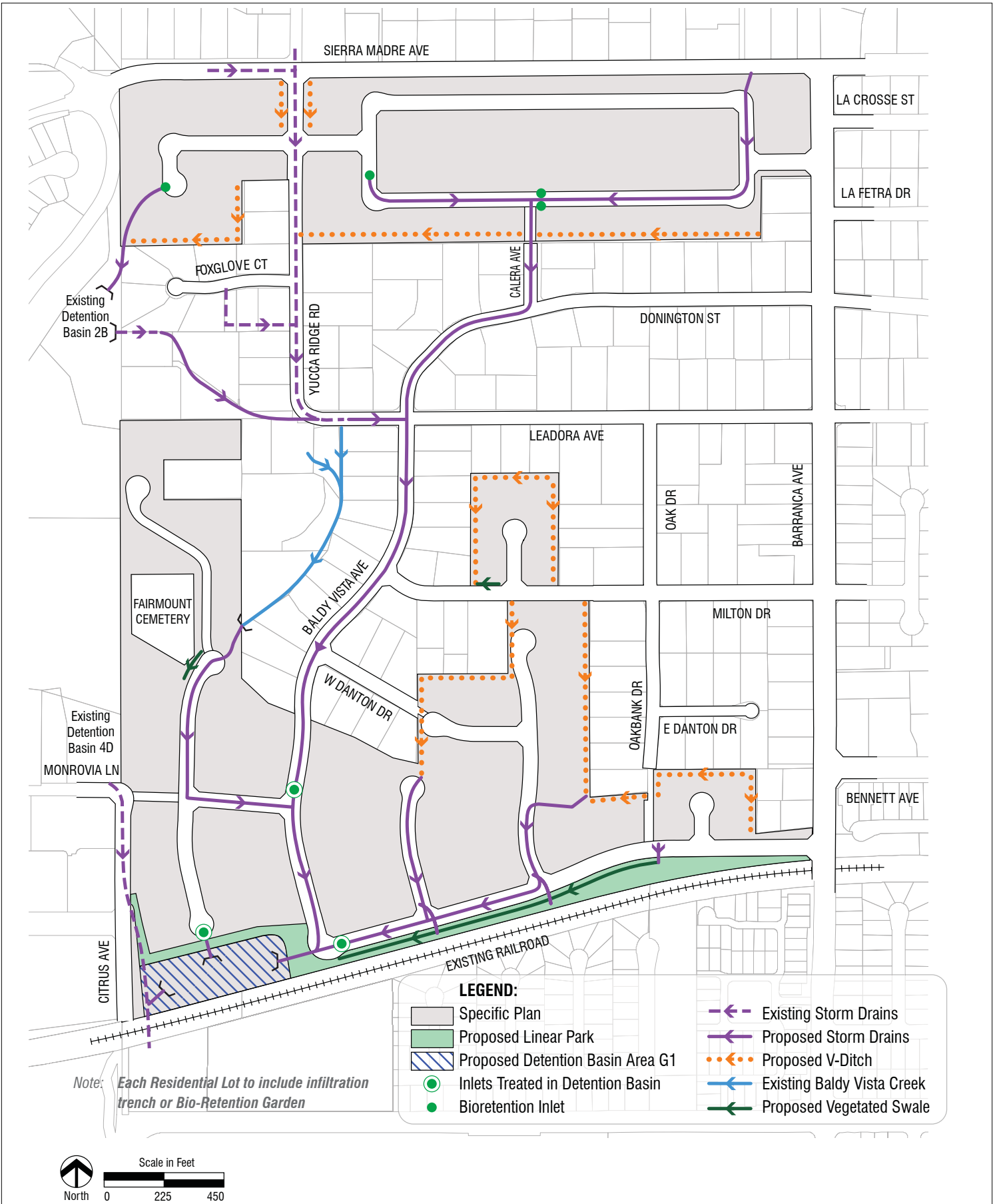
### **3. Hydraulics / Storm Drain**

There are existing drainage problems, as addressed in the Preliminary Drainage Report dated August 11, 2010 (i.e. – flooding concerns) identified within the Specific Plan. Proposed drainage improvements should help alleviate these issues and adequately convey runoff through the Specific Plan to the downstream storm drain facility (at the southwest corner of



*Facility G-1 is to be located at the southwest corner of the Glendora project and is intended to replace the Glendora portion of Facility 4D. It would be placed on the northeast corner of the Citrus Avenue and Existing Railroad intersection.*

■ WATER QUALITY PLAN





the project site). The proposed improvements will be sized to convey off-site flows received from the north (entering the site from Sierra Madre Avenue at two separate locations), from the west (entering the site from one existing detention basin, while the other existing detention basin is routed down Citrus Avenue within the City of Azusa project limits), and on-site flows from throughout the Specific Plan and surrounding neighborhood (both existing and proposed residential streets and lots).

The exact alignment of the main storm drain segments is subject to minor adjustment in final engineering; however, the storm drain systems will run towards the southwest corner and ultimately discharge to the Los Angeles County Department of Public Works facility (1264 Drain – 78-inch reinforced concrete pipe). A preliminary layout for the proposed storm drain system and existing storm drain systems to remain in place are shown on the *Storm Water Plan* (page 40).

#### **4. Water Quality / Permanent Storm Water BMPs**

In the City of Glendora, water quality treatment solutions are to use infiltration, extended detention, or retention based solutions. For large single-family lots, requirements include installing an infiltration trench or bioretention area on each single-family lot, sized to infiltrate 0.75-inches from the lot. Each lot will utilize one of these methods (or combination thereof) to satisfy the water quality treatment requirements; however, the newly created streets also require treatment. Among the solutions for storm water will include one of the following (or an approved equivalent):

- Vegetated swales with infiltration (where feasible)
- Bioretention areas adjacent to inlet locations
- Proprietary systems such as Filterra or Modular Wetland at each inlet location

The bottom portion of Detention Basin G-1 will be used for infiltration or extended detention (water quality benefits), limited to streets in close proximity to the basin.

Pursuant to Low Impact Development (LID) requirements, each lot in the Specific Plan will be required to utilize site design Best Management Practices (BMP) directing impervious areas to pervious areas (i.e. – roof drains to landscaping), and street runoff will be directed to vegetated areas as well, where feasible. Therefore, water quality treatment, LID, and EPI requirements will be met with a variety of permanent storm water BMP solutions. For portions of the streets where it is not feasible to direct runoff to natural vegetated areas, then proprietary bioretention systems may be utilized that will provide contact time with soil and vegetation for water quality storm events.



*The Specific Plan includes a linear park adjacent to the Burlington Northern Santa Fe Railroad that include facilities similar to those already in place in the linear park east of Barranca Avenue...*

The following summarizes the preliminary solutions proposed for water quality and LID/EPI requirements:

#### ***Lots***

- Infiltration Trench and/or Bioretention Raingarden

#### ***Streets***

- Vegetated Swales w/ Bioretention or Infiltration Trench
- Bioretention System(s) at Curb Inlet Locations
- Soft Bottom Detention Basin w/ Bioretention/Infiltration

Each of the above systems will be numerically sized to detain, retain, or infiltrate the first 0.75-inches of storm water runoff where feasible, with remaining areas numerically sized to treat 0.75-inches or a comparable treatment flow rate (cfs), such as bioretention systems at inlet locations. Preliminary locations of these facilities are shown on the “Water Quality Plan” on page 44.

These permanent storm water BMPs located on lots will be maintained by the private landowner or an established homeowner’s association, the permanent BMPs installed for treatment of street runoff will be maintained by the City of Glendora. In the case of the soft bottom detention basin, the County of Los Angeles County Department of Public Works/Los Angeles County Flood Control District will assume operation and maintenance responsibilities, upon its acceptance into the Los Angeles County Flood Control District.

## **F. OPEN SPACE**

The Specific Plan consists of detached single-family residences on parcels of at least 20,000 square feet, affording every homeowner with a significant private open space within their own lot. Therefore public open space was not a driving emphasis of the plan. However, open space is still important to engender a sense of shared experience and community, especially open space that contains amenities to encourage pedestrian and bicycle circulation. This Specific Plan proposes several open space facilities that demonstrate an appreciation for the history of the area, and foster neighborhood interaction.

### **1. Linear Park**

The Specific Plan includes a linear park adjacent to the Burlington Northern Santa Fe Railroad that include facilities similar to those already in place in the linear park east of Barranca Avenue, including a trail / sidewalk, a noise attenuation wall, storm water facilities, and landscaping.

### **2. Linear Sidewalk**

Throughout the Specific Plan non-contiguous sidewalks are to be installed concurrent with new development. These sidewalks, minimum 4-feet in width, will be separated from the street with a landscaped parkway. Of particular significance are the new sidewalks proposed within the Linear Park and the meandering sidewalk on the south side of the improved Sierra Madre Avenue.

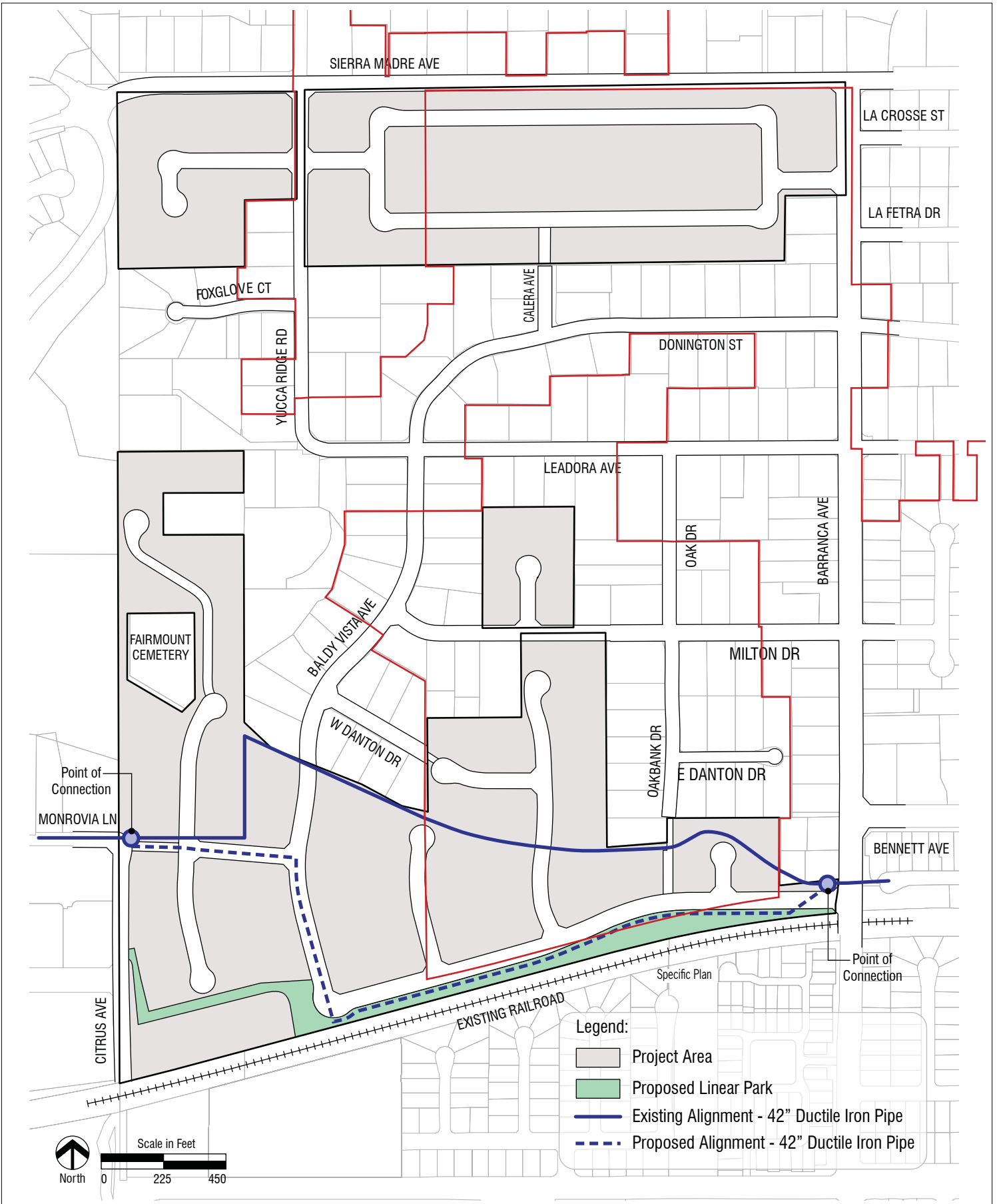
### **3. Fairmount Cemetery**

Fairmount Cemetery is an important and revered local historic landmark. The Specific Plan recognizes this and provides a landscape buffer as well as some design details that help parking for special events.

### **4. Homeowners Association Lots**

Slopes adjacent to some residences, emergency access points and gateways will be landscaped and maintained by the Homeowner's Association. The precise specifics of such will be made a part of subsequent Covenants, Conditions and Restrictions.

■ COVINA CANAL REALIGNMENT



## **G. EASEMENTS**

Baldy Vista Creek and the Covina Canal within the Specific Plan Area are open channels. Baldy Vista Creek is in an open channel and Covina Canal is in an existing pipe that will head to be removed and relocated. The flow in Baldy Vista Creek will be placed in a pipe as it enters the Specific Plan area. Easements are proposed to address these elements as well as non-utility matters such as the Fairmount Cemetery and a new private drive easement to an existing homesite at 1376 West Sierra Madre Avenue.

### **1. 1376 West Sierra Madre Avenue**

The Specific Plan includes an access easement through the VTTM for a private drive to reach the property at 1376 West Sierra Madre Avenue because the current access route to this property would be eliminated as part of the implementation of the Specific Plan.

### **2. Fairmount Cemetery**

The Specific Plan includes a buffer for Fairmount Cemetery and provides on-street and off-street parking opportunities for services at the cemetery and maintenance purposes.

### **3. Covina Canal**

The Covina Canal within the Specific Plan is a below grade facility in a 42-inch ductile iron pipe, though it is partially exposed at the southern end of Baldy Vista Creek. The Specific Plan proposes removing and relocating the pipe. New easements associated with this action will follow. Prior to recordation of the Final Map, the subdivider will be required to obtain the necessary quitclaim deed from the Covina Irrigating Company (CICO), vacating the easement. CICO practice is that conditions to vacating a current line are for the applicant to provide the design required to build the line as well as pay for the installation of the line.

### **4. Los Angeles County Department of Public Works**

The Los Angeles County Department of Public Works is the responsible utility for sewers in the Specific Plan, a series of easements related to sewer lines within the Specific Plan have been incorporated into the utility plans.



*The Covina Canal partially is exposed at the southern end of Baldy Vista Creek.*



■ BALDY VISTA CREEK - 2009 PHOTOS



*Baldy Vista Creek*



*Baldy Vista Creek (Covina Canal water supply pipe in image lower right)*

## **H. WATER & SEWER**

The Specific Plan's water supply is provided by the City of Glendora. The Los Angeles County Sanitation District provides the sanitary sewer service. The water and sewer system plan is based on the existing capacity of water and sewer facilities surrounding the project. The City of Glendora draws 222 acre-feet per year from the Covina Irrigating Canal.

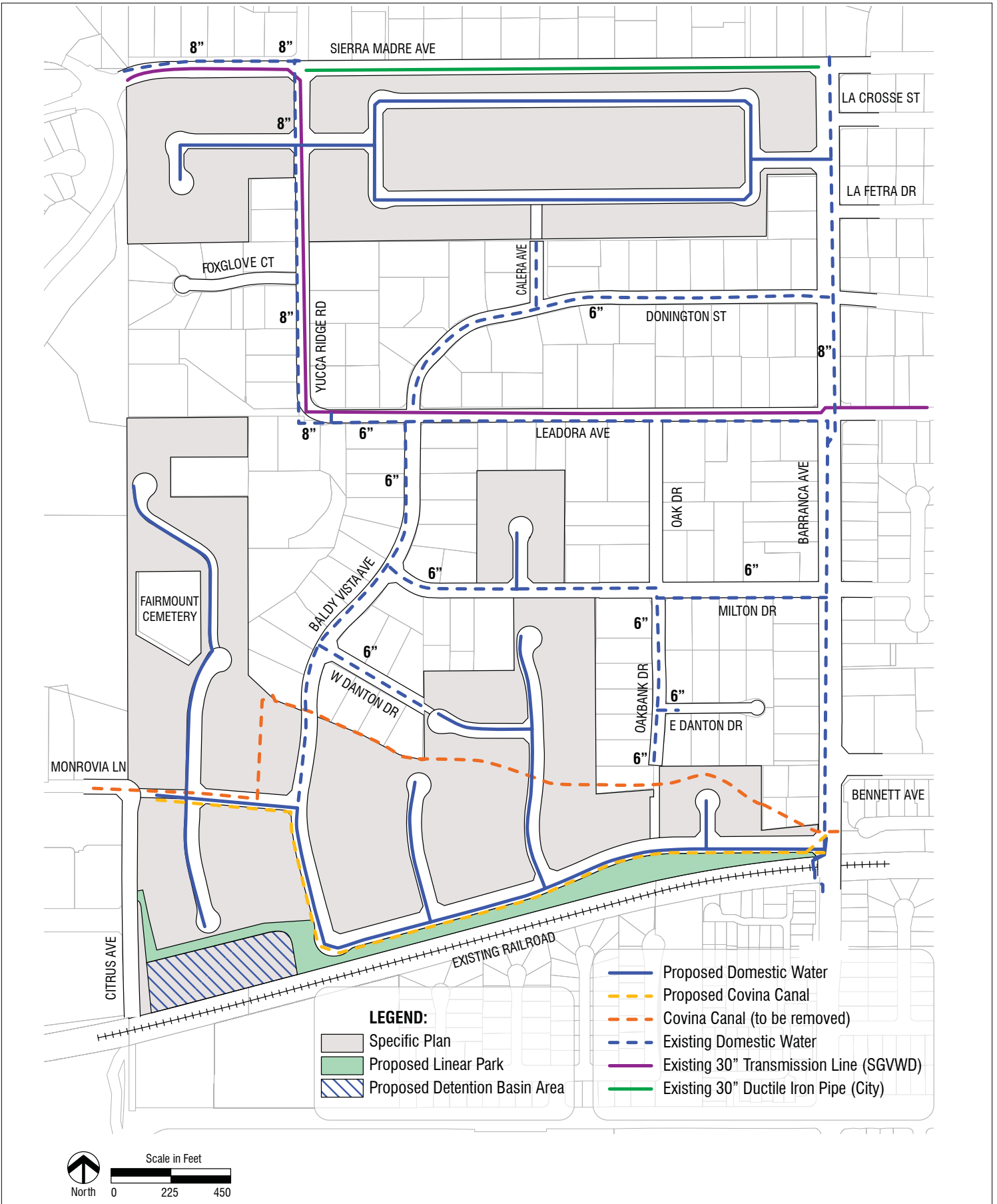
*The following water facilities exist in the vicinity of the project:*

- Existing 8" Ductile Iron Pipe in Sierra Madre Avenue
- Existing 20" Ductile Iron Pipe in Sierra Madre Avenue
- Existing 30" Ductile Iron Pipe in Sierra Madre Avenue
- Existing 8" in Yucca Ridge Road
- Existing 30" in Yucca Ridge Road (High pressure Transmission Main)
- Existing 6" in Foxglove Court
- Existing 6" in Leadora Avenue
- Existing 30" in Leadora Avenue (High pressure Transmission Main)
- Existing 6" in Donington Street
- Existing 6" in Calera Avenue
- Existing 6" in Baldy Vista Avenue
- Existing 6" in Milton Drive
- Existing 6" in Oakbank Drive
- Existing 6" in Danton Drive
- Existing 8" in Barranca Avenue

*The following sewer facilities exist in the vicinity of the project:*

- Existing 8" Sewer in Yucca Ridge Road
- Existing 8" Sewer in Sierra Madre Avenue
- Existing 8" Sewer in Leadora Avenue
- Existing 8" Sewer in Calera Avenue
- Existing 8" Sewer in Donington Street
- Existing 8" Sewer in Baldy Vista Avenue
- Existing 8" Sewer in Milton Drive
- Existing 8" Sewer in Danton Drive
- Existing 8" Southerly along the Existing Covina Canal Alignment, from West Danton Drive to Oakbank Drive
- Existing 8" Sewer in Oakbank Drive
- Existing 8" Sewer in Barranca Avenue from Leadora Avenue to Milton Drive

■ WATER PLAN



**Water System**

The City of Glendora provides water to customers from three sources:

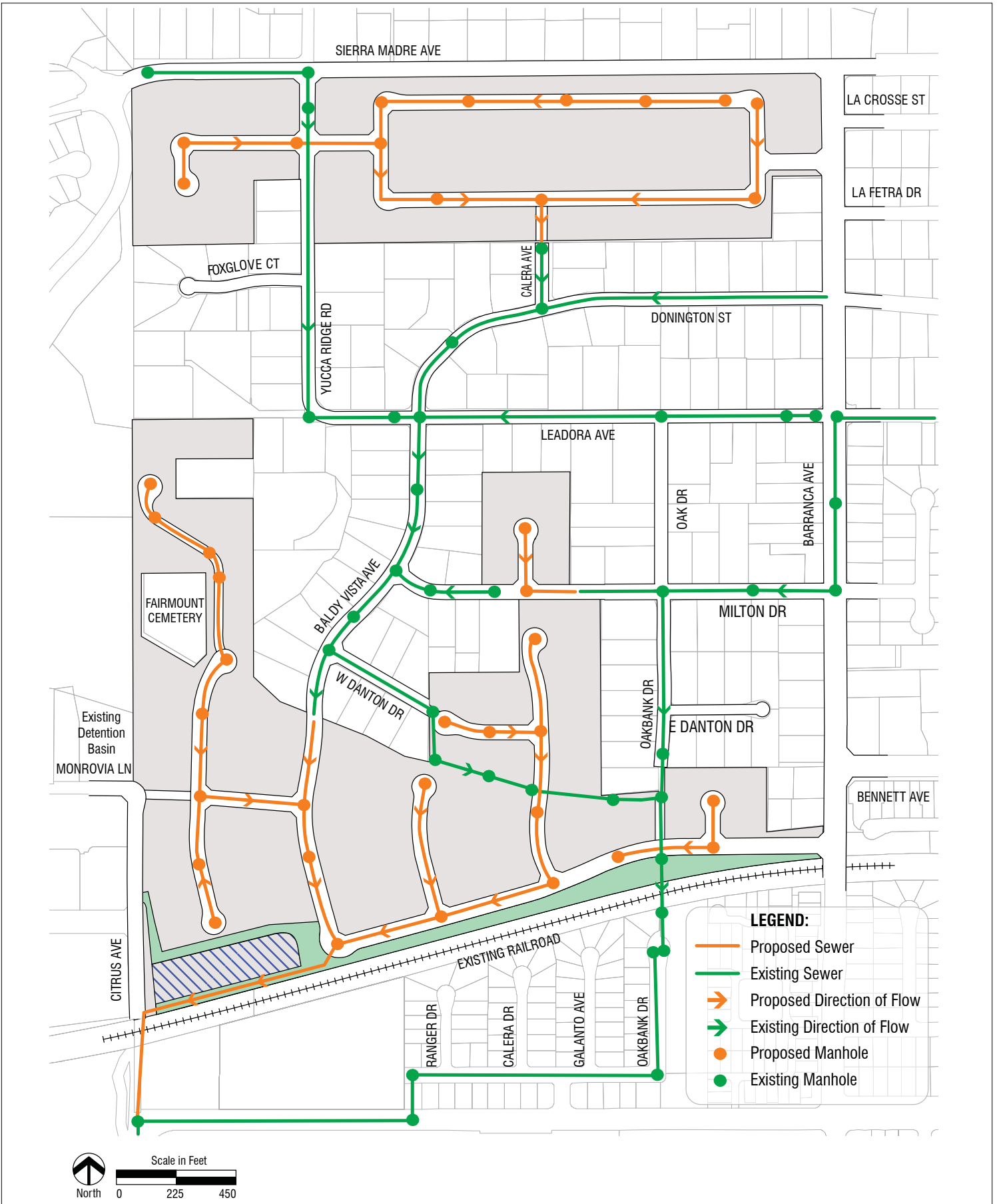
1. Groundwater from the San Gabriel Valley Water District (SGVWD)
2. Surface water from the Metropolitan Water District of Southern California (MWD) through the Three Valleys Municipal Water District
3. Surface water from the Covina Irrigating Company (CIC) by way of the Covina Canal (42" ductile iron pipe). The water is disinfected with chlorine or chloramines before it is delivered to the customer.

City water lines exist throughout the Specific Plan. The Specific Plan - North is proposed to obtain service from the existing 8" water lines on Yucca Ridge Road and Barranca Avenue. The Specific Plan - South is proposed to obtain service from the 6" existing water lines on Baldy Vista Avenue, Milton Drive, West Danton Drive, Oakbank Drive and the existing 8" on Barranca Avenue. The domestic water system will be designed and constructed per City of Glendora standards.

The domestic potable water system for the entire Specific Plan will also be used for fire protection of the site. The domestic potable water system will include the fire hydrant system and any necessary fire protection services to insure adequate fire safety for the Specific Plan. A hydraulic analysis may be required to determine adequacy of the existing 6" and 8" water lines to serve the project, in which case upsizing of these existing water lines may be required to ensure adequate water pressure to the proposed residential homes.



SEWER PLAN





### **Sewer System**

The Specific Plan is comprised of a total of 95 acres, 35 acres are part of the Specific Plan - North and 60 acres are part of the Specific Plan - South. The Sanitation District of Los Angeles County provides wastewater management of the City of Glendora. The City of Glendora is located in the Sanitation District No. 22, which operates the San Jose Creek reclamation plant in the City of Industry.

The Specific Plan - North wastewater is conveyed to a low point on Street "B" at which point it drains southerly through a sewer easement and connects to the existing local 8" sewer line on Calera Avenue. From this point the 8" line flows in Baldy Vista Avenue southerly to Danton Drive where it connects to the existing sewer outfall.

In the Specific Plan - South, sewer on West Danton Drive will be extended to proposed Street "E", and the flows will be conveyed southerly to proposed Street "A". The proposed sewer alignment will continue westerly along Street "A" through a proposed sewer easement along the proposed detention basin (Lot M). The proposed sewer will continue southerly under the Burlington Northern Santa Fe Railroad and connect to an existing 8" sewer on Citrus Ave. and Foothill Blvd. A jack and bore process will be needed to extend the sewer under the Burlington Northern Santa Fe Railroad. In anticipation of the development of the property the Monrovia Nursery company obtained an agreement for a sewer easement through an adjoining property located at 1155 W. Foothills Boulevard. The sewer line would require coordination, review and approval from the Los Angeles Metropolitan Transit Authority will be required.

For the proposed residential lots draining to the existing sewer on Oakbank Drive the sewer will be extended westerly from the existing sewer stub on Milton Drive and Oakbank Drive to the proposed Street "N" cul-de-sac. Wastewater then flows through an existing 8" sewer pipeline that crosses under the existing Burlington Northern Santa Fe Railroad along the Oakbank Drive alignment.

To determine the peak flow generated from the project site, the following design criteria were used. Generation factors in the 2006 Sewer Master Plan are based on acreage.

The factor shown on Table 1 (below) was used to determine flows. The factor is based on five dwelling units per acre and medium low-density residential flow factor from the 2006 Sewer Master Plan.

Table 2 provides the calculated project sewer flows. A peaking factor of 1.66 was used to be consistent with the highest diurnal peaking factor of the 2006 Sewer Master Plan.

**TABLE 1**

LAND USE	FACTOR (gpd)	UNITS
Residential	250	Per dwelling Unit

**TABLE 2**

LAND USE	UNITS	FAC-TOR (gpd)	UNIT	AVG. FLOW (gpd)	PEAK FLOW (gpd) 1	PEAK FLOW (gpd) 2	PEAK FLOW (cfs)
Residential	129*	250	du	32.637	37	56	0.1241

\* Currently 124 Residential units are proposed. Sewer Flow Calculation based on September 18, 2007 report prepared by RBF.

[1] Based on Residential peak Factor =1.66 per 2006 Sewer Master Plan

[2] Based on inflow and infiltration factor of 50% average daily flow per 2006 Sewer Master Plan

The Specific Plan’s wastewater is ultimately conveyed to the existing JOH unit 8-L relief line located on Baseline Avenue south of the project and this leads to the San Jose Creek reclamation plant. The size of the relief trunk line is 24” to 30” and has a capacity of 20-30 cfs. In the beginning of 2009 the relief Trunk line was measured at 4-6 cfs peak flow, and therefore currently has the capacity to serve the Specific Plan.

*Water and Sewer Development Standards*

- All water facilities will be designed and constructed in accordance with the City of Glendora Standards and the Standard Specifications for Public Works Construction, 2009 edition (GREEN BOOK).
- All sewer facilities will be designed and constructed in accordance with the Sanitation District of Los Angeles County and the Standard Specifications for Public Works Construction, 2009 edition (GREEN BOOK).

## **I. OTHER UTILITIES**

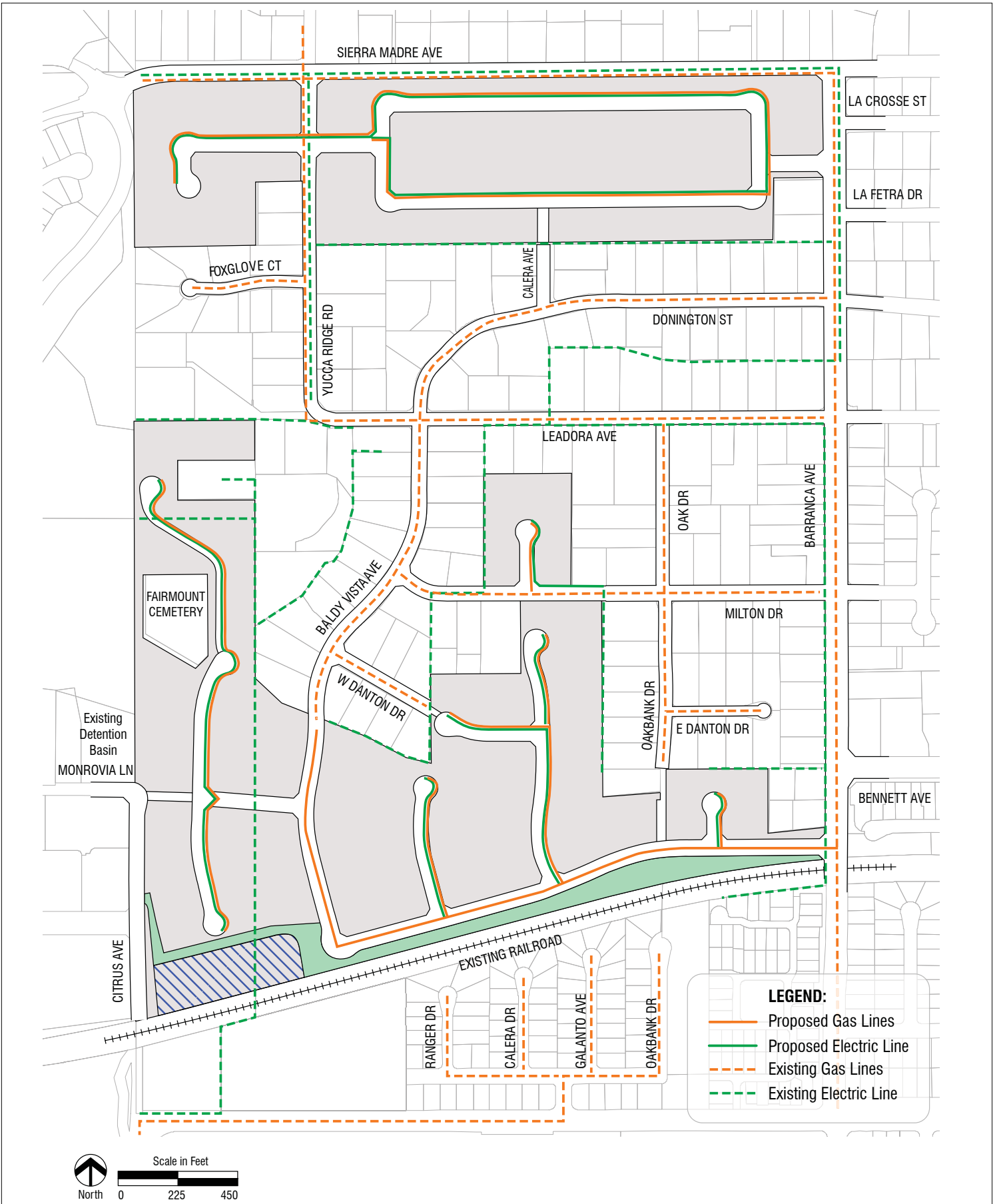
### ***Utility Plan***

The Specific Plan - North and South is surrounded on the north, west, and east by existing development served by Southern California Edison for electricity and The Gas Company for natural gas. While portions of the Specific Plan have electrical service, the gas service does not currently exist. Nonetheless, both utilities exist in the roadways and property surrounding the Nursery.

### ***Electrical***

The existing locations of the electrical facilities are illustrated on the following page. All of the existing facilities are located above ground. In the Specific Plan - North, electrical facilities are located on the east side of Yucca Ridge Road north of Sierra Madre Avenue, west side of Barranca Avenue and along the southern property boundary. In the Specific Plan - South, overhead electrical facilities enter the Nursery property south of the Burlington Northern Santa Fe Railroad tracks between Calvary Lutheran Church and the Autumn Oaks condominiums. The facilities extend north through the southern portion of the site into residential areas northeast of the Fairmount Cemetery. Overhead lines are also located throughout much of the northern perimeter of the Specific Plan - South between the property and existing residences. In general, overhead service is provided to the rear of the adjacent residential properties. It is anticipated that implementation of the Specific Plan will require coordination with Southern California Edison to extend electrical service into the proposed Specific Plan. All new electrical service within the Specific Plan must be underground. Under this strategy that existing above-ground facilities on the site, such as poles and overhead lines that serve other properties, will be undergrounded.

■ GAS & ELECTRIC UTILITIES PLAN



***Natural Gas***

The existing locations of the natural gas facilities are illustrated on the facing page. No natural gas facilities are located in the Specific Plan, however, natural gas facilities exist in almost all the surrounding streets including: Sierra Madre Avenue, Barranca Avenue, Yucca Ridge Road, Donington Street, Calera Avenue, Leadora Avenue, Oakbank Drive, Baldy Vista Avenue, West and East Danton Drive. It is anticipated that implementation of the Specific Plan will require coordination with the Gas Company to extend natural gas service into the proposed Specific Plan.



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# Maintenance & Financing

## IV

### BACKGROUND

The Specific Plan contains a number of public amenities such as landscaping and lighting on streets, emergency access gateways, and a linear park, that require initial funding and a vehicle to assure ongoing maintenance. The following are a range of approaches and options that could provide the funding necessary.

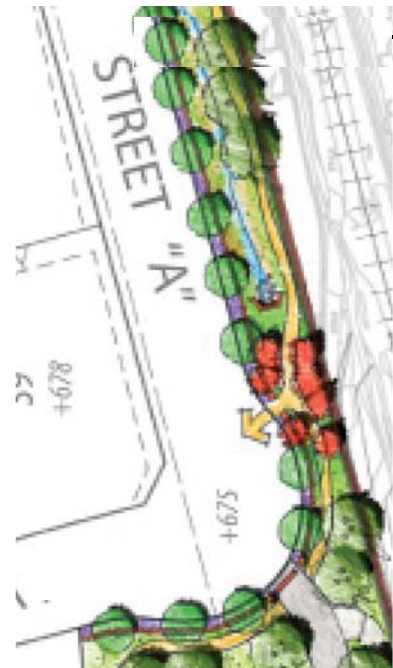
#### A. ASSOCIATIONS

*Common Interest Development (CID) (Commonly an HOA)*

A homeowners association (HOA) is a form of CID - a certain type of real estate and form of home ownership. CIDs allow individual owners the use of common property and facilities and provide for a system of self-governance through an association of the homeowners within the CID. The most common type of association of homeowners is the nonprofit mutual benefit corporation. This is a corporation in which the members of the corporation vote for a board of directors that runs the affairs of the corporation.

Some of the statutory basis for the operation of CID's can be found in:

- Civil Code 1350, et seq. (The Davis-Stirling Act)
- Corporations Code 7110-7160 (Nonprofit Mutual Benefit Corporations Formations and Powers)
- Corporations Code 7210-7215 (Corporate Duties and Responsibilities)
- Corporations Code 7220-7225 (Selection, Removal and Resignation of Directors)



## **B. ASSESSMENTS & FEES**

### **1. Assessment Districts**

#### *Background*

In 1978 Californians enacted Proposition 13, which limited the ability of local public agencies to increase property taxes based on a property's assessed value. Since that time, Assessment Districts, which have been in existence since the early 1900's, have been used on a widespread basis as an alternative method for financing public improvements. Currently, about one in three properties in California is part of an Assessment District.

#### *Authorizing Legislation for Assessment Districts*

There are two primary acts which authorize the establishment of assessment districts:

- The Improvement Act of 1911 (Streets & Highways Code §5000 et seq.), which can be used by cities, counties and other municipal governments to fund a wide range of public infrastructure projects. The 1911 Act can also fund maintenance of improvements.
- The Municipal Improvement Act of 1913 (Streets & Highways Code §10000 et seq.), which can be used by cities, counties, joint powers authorities and other special districts to fund water, electrical, gas and lighting infrastructure, public transit facilities, as well as other basic infrastructure needs.

The Improvement Bond Act of 1915 (Streets & Highways Code §8500 et seq.) is normally used in combination with one of these acts to issue bonds to finance the improvements. The vast majority of assessment district projects are paid for with 1915 Act Improvement Bonds.

#### *Assessment District Purpose*

An Assessment District is created to finance improvements when no other source of money is available. Assessment Districts are often formed in undeveloped areas and are used to build roads and install water and

sewer systems so that new homes or commercial space can be built. Assessment Districts may also be used in older areas to finance new public improvements or other additions to the community.

#### *Assessment District Formation*

An Assessment District is created by a sponsoring local government agency, such as a city or county. The procedure for forming a district begins with a petition signed by owners of the property who want the public improvement. The proposed district will include all properties that will directly benefit from the improvements to be constructed. A public hearing is held, at which time property owners have the opportunity to protest the assessment district.

Once approved, property owners have the opportunity to prepay the assessment prior to bond issuance. After this cash payment period is over, a Special Assessment Lien is recorded against each property with an unpaid assessment. Then, these parcels will pay their total assessment through annual installments on the county property tax bill. The property owners will have the right to prepay the remaining balance of the assessment at any time, including applicable prepayment fees.

## **2. Mello-Roos**

#### *Mello-Roos Bonds*

The Mello-Roos (named for its legislative sponsors) Community Facilities District Act of 1982 established another method whereby almost every municipal subdivision of the state may form a special, separate district to finance a long list of public facilities by the sale of bonds and finance certain public services on a pay-as-you-go basis. These Community Facilities Districts are formed and bond issues authorized by a two-thirds vote of the property owners in the district. Typically the only voters in a district are one or more real estate developers who own or have an option on all of the land in the district. These land-based financings were nicknamed “dirt bonds” by the Bond Advisor years ago. Bonds are sold to finance facilities that can include schools, parks, libraries, public utilities and other forms of infrastructure. The Districts may provide public

services that include police and fire protection, recreation programs, area maintenance, library services, and flood and storm drainage. Bonded debt service and/or the public services are paid for by special taxes levied on the real property within the district. As the developer subdivides and sells off the land the new property owner assumes the tax burden. Tax delinquencies can lead to fines and penalties and ultimately foreclosure and sale. The ultimate security for Mello-Roos bonds is the value of the real property being taxed, consequently a provision in the law requires the appraised value of the land be three times the bonded debt. Recent foreclosure sales have cast doubts on the skills of the appraisers, and underscore the risk of some of this debt when a severe real estate slump hits developers.

#### *Background*

In 1978 Californians enacted Proposition 13, which limited the ability of local public agencies to increase property taxes based on a property's assessed value. In 1982, the Mello-Roos Community Facilities Act of 1982 (Government Code §53311-53368.3) was created to provide an alternate method of financing needed improvements and services.

#### *The Mello-Roos Community Facilities Act of 1982*

The Act allows any county, city, special district, school district or joint powers authority to establish a Mello-Roos Community Facilities District (a "CFD") which allows for financing of public improvements and services. The services and improvements that Mello-Roos CFDs can finance include streets, sewer systems and other basic infrastructure, police protection, fire protection, ambulance services, schools, parks, libraries, museums and other cultural facilities. By law, the CFD is also entitled to recover expenses needed to form the CFD and administer the annual special taxes and bonded debt.

#### *Mello-Roos CFD Purpose*

A CFD is created to finance public improvements and services when no other source of money is available. CFDs are normally formed in undeveloped areas and are used to build roads and install water and sewer systems so that new homes or commercial space can be built. CFDs are also used in older areas to finance new schools or other additions to the community.



#### *Mello-Roos CFD Formation*

A CFD is created by a sponsoring local government agency. The proposed district will include all properties that will benefit from the improvements to be constructed or the services to be provided. A CFD cannot be formed without a two-thirds majority vote of residents living within the proposed boundaries. Or, if there are fewer than 12 residents, the vote is instead conducted of current landowners. In many cases, that may be a single owner or developer. Once approved, a Special Tax Lien is placed against each property in the CFD. Property owners then pay a Special Tax each year. If the project cost is high, municipal bonds will be sold by the CFD to provide the large amount of money initially needed to build the improvements or fund the services.

### **3.      ***Landscaping & Lighting Act District*****

#### *Background*

A 1972 Landscaping and Lighting Act allows for the creation of a district used by local government agencies to pay for landscaping, lighting and other improvements and services in public areas. As a form of benefit assessment, it is based on the concept of assessing only those properties that benefit from improvements financed, either directly, or indirectly through increased property values. Because it is considered a benefit assessment, a 1972 Act assessment is not subject to Proposition 13 limitations.

#### *The Landscaping and Lighting Act of 1972*

This legislation (Streets & Highways §22500) allows local governmental agencies to form Landscape & Lighting Maintenance Districts for the purpose of financing the costs and expenses of landscaping and lighting public areas. This act can be used by any local agency including cities, counties, and special districts such as school districts or water districts. The many approved uses include installation and maintenance of landscaping, statues, fountains, general lighting, traffic lights, recreational and playground courts and equipment, and public restrooms. Additionally, the Act allows acquisition of land for parks and open spaces, plus the construction of community centers, municipal auditoriums or halls to be financed. Notes or bonds can be issued to finance larger improvements under the Act.

#### *Landscape Lighting District Formation*

The sponsoring agency conducts a Specific Plan, prepares an engineer's report and proposes the formation of a district and the levy of assessments. Affected property owners are then notified and a public hearing is held. In order to approve the district, a majority vote of affected property owners through an assessment balloting procedure is required. Once approved, assessments will be placed on property tax bills each year to pay for the improvements and services.

#### *Annual Charge*

By law (Prop. 13), benefit assessments cannot be based on the value of property. Instead, each district establishes a benefit formula and each parcel in the service area is assessed according to the benefit it receives from the services and improvements.

## **C. EXACTIONS & FEES**

Government Code Section 65583(a) requires “An analysis of potential and actual governmental constraints upon the maintenance, improvement, or development of housing for all income levels...including...fees and other exactions required of developers, and local processing and permit procedures...”.

### *Types of Fees and Exactions*

Housing development is typically subject to two types of fees or exactions:

- permit processing fees for planning and zoning; and
- impact fees or exactions, imposed to defray all or a portion of the public costs related to the development project.

These fees and exactions can impact the cost, and feasibility of housing development and its affordability, and involve issues of private property rights. High planning and site development fees can impact property owners’ ability to make improvements or repairs, especially for lower-income households. Development projects are subject to fees and exactions from a growing number of public entities, ranging from special districts to regional agencies. It is important to estimate the cumulative amount of fees housing development will be subject to for development of viable proposals; information about the City or County’s fees and exactions is among the most critical. For both processing fees and impact fees, State law specifies procedural and nexus requirements:

- Government Code Section 66020 requires that planning and permit processing fees do not exceed the reasonable cost of providing the service, unless approved by the voters; agencies collecting fees must provide project applicants with a statement of amounts and purposes of all fees at the time of fee imposition or project approval.
- Government Code Section 66000 et. seq. (Mitigation Fee Act) sets forth procedural requirements for adopting, and collecting capital facilities fees and exactions, and requires they be supported by a report establishing the relationship between the amount of any capital facilities fee and the use for which it is collected.

### *Requisite Analysis*

- Identify and analyze permit processing and planning fees, and development and impact fees and exactions and how they have been established relative to the above statutory requirements, including any in-lieu fees.
- Identify exactions such as land dedication requirements (e.g., streets, public utility and other right-of-ways, easements, parks, open space, etc.) and other exactions imposed on development.
- Include information on how fees are collected, i.e. at the beginning of the approval process, at the time of building permit issuance, or deferred until the project receives certificate of occupancy.
- Identify any policies or efforts to moderate high fee impacts for housing for lower-income households, such as fee waivers, fee deferrals, streamlined fee processing, and consolidated fee schedules.

### *Nexus Requirements*

State law requires establishment of a nexus between the projected development impacts and the public facilities for which impact fees are imposed. Government Code Section 66001(a) of the Mitigation Fee (Act) (Section 66000-66025) requires that any city or county which establishes, imposes, or increases a fee as a condition of development approval do all of the following: (1) identify the purpose of the fee; (2) identify the use to which the fee is to be put; (3) determine how there is a reasonable relationship between the fee's use and the type of development project on which the fee is imposed; and, (4) determine how there is a reasonable relationship between the need for the public facility and the type of development project upon which the fee is imposed.

Government Code Section 66001(b) further requires the locality to determine whether there is a reasonable relationship between the specific amount the fee imposed and the costs of building, expanding, or upgrading public facilities. Such determinations, also known as nexus studies, are made in written form and must be updated whenever new fees are imposed or existing fees are increased.

The Act also requires jurisdictions to segregate fee revenues from other municipal funds and to refund them if they are not spent within five years. Any person may request an audit to determine whether any fee or charge levied by the city or county exceeds the amount reasonably necessary to cover the cost of the service provided (Government Code Section 66006(d)). Under Government Code Section 66014, fees charged for zoning changes, use permits, building permits, and similar processing fees are subject to the same nexus requirements as development fees. Lastly, under Government Code Section 66020, agencies collecting fees must provide project applicants with a statement of the amounts and purposes of all fees at the time of fee imposition or project approval.



## **D. BORROWING**

### **1. General Obligation Bonds**

#### *Definition:*

General Obligation Bonds are a form of long-term borrowing in which the state issues municipal securities and pledges its full faith and credit to their repayment. Bonds are repaid over many years through semi-annual debt service payments. The California Constitution requires that GO bonds be approved by a majority vote of the public and sets repayment of GO debt before all other obligations of the state except those for K-14 education.

#### *Key Statutory Authorities*

1). Article XVI, Section 1, of the California Constitution prohibits the Legislature from creating debt or liability which exceeds \$300,000 without a majority vote by the people, except in case of war. 2). Government Code, Title 2, Division 4, Part 3 (Section 16650 et seq.) sets out the statutory framework for GO bonds. Statutory authorization for individual GO bond measures is placed programmatically in the codes (e.g., prison authorizations are located in the Penal Code).

### **2. Certificates of Participation (COPs)**

A form of lease revenue bond that permits the investor to participate in a stream of lease payments, installment payments or loan payments relating to the acquisition or construction of specific equipment, land or facilities. In theory the certificate holder could foreclose on the equipment or facility financed in the event of default, but so far no investor has ended up owning a piece of a school house or a storm drainage system. A very popular financing device in California since Proposition 13 because COP issuance does not require voter approval. COPs are not viewed legally as "debt" because payment is tied to an annual appropriation by the government body. As a result, COPs are seen by investors as providing weaker security and often carry ratings that are a notch or two below an agency's general obligation rating.

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# Development Standards



## A. PERMITTED USES

Detached single-family residences, second-kitchen units, accessory buildings, appropriate home occupation businesses. open space and flood control uses as depicted by the development plan.

## B. PRIVATE AREA STANDARDS

### **Lot Dimensions:**

Lot Size: Minimum 20,000 square feet

Lot Width: 100 feet\*

\* Minimum width may be reduced to 80 feet as part of a final map review by the City of Glendora as long as the parcel is a minimum of 20,000 square feet in size .

### **Setbacks:**

Front Yard: Minimum 25 feet\*\*

\*\* Where needed to provide greater compatibility with the front setback of adjacent existing residences the Director may increase the required setback.

Side Yard: Minimum 7 feet on each side

Side Street: Minimum 15 feet

Rear Yard: Minimum 35 feet

1. ACCOUNT FOR THE SETBACKS OF EXISTING HOMES: Take into account the setbacks established by existing homes. The 25-foot front yard setback is the minimum that shall be maintained, but it can be exceeded (within reason) out of respect for the established block face setback.

### **Floor Area Ratio:**

35%, not including up to 400 square feet for an attached garage

### **Maximum Second Floor Area:**

75% of the first floor, excluding up to 400 square feet of attached garage space



**Main Residence Height:**

Maximum 25 feet (1 or 2 stories)

Maximum 2 stories\*\*\*

\*\*\* Certain lots are restricted to one story (see map on page 72)

Height is measured from any point on the roof to the finished grade at the nearest exterior wall. Chimneys are excluded. The maximum roof pitch shall be 6:12.

**Landscaping/Irrigation:**

1. The design of the landscaping will be executed per an approved set of documents that adhere to the guidelines of Chapter VI.
2. A minimum of 50% of the front yard setback shall be planted in turf. A maximum of 25% of the front yard setback is allowed to be hardscape, including driveways.
3. Home owners are encouraged to use simple large mass plantings of a singular species of low ground covers. Natural grasses are also encouraged.
4. All irrigation systems shall conform to all other applicable city and regional standards for irrigation installation and maintenance. Irrigation systems shall be designed so that separate areas of maintenance responsibility are metered and controlled with the City of Glendora to assure conformance to standard equipment and installation techniques. All permanent irrigation systems will be below ground, automatically controlled and in full compliance with building code requirements. Water conserving systems, such as drip irrigation, moisture sensors, low water use heads, and matched precipitation rate heads will be used. All backflow control devices will be located or screened from public view.
5. Slope Revegetation. All graded slopes will be promptly revegetated in compliance with City requirements and in conformance with the overall landscape concept.

**Roofs & Roof Penetrations:**

1. MAXIMUM ROOF PITCH 6:12 maximum.
2. ROOF TERRACES: Roof terraces are not permitted above a second floor. They are allowed above a single floor.



3. CHIMNEYS: A maximum of five (5) chimneys are permitted per house. Maximum height to the top of the chimney is four (4) feet above the nearest ridge line or four (4) feet above the nearest roof slope as measured from a distance of ten (10) feet away from the face of the chimney. Chimneys protruding from one story roofs must be located away from an adjacent two story roof to limit excessively high chimneys. Chimney caps must be designed to complement the major architectural elements of the house, must screen the spark arrester and shall not be constructed of painted sheet metal. Exposed metal flues and spark arresters are not permitted. Wherever possible, chimneys from 1-story spaces should be integrated into second story wall massing to diminish the impact of tall chimneys over 1-story roofs. The location of chimneys on the low side of 1-story shed roofs is discouraged.
4. ANTENNAS, DISHES, AND SIMILAR: All antennas and satellite dishes and similar roof-mounted apparatus shall either be restricted to the attic or interior of the residences or, if mounted on the exterior, shall be reasonably obscured from view by other lot owners.
5. OVERHANGS: Due to the climate and regional tradition, generous overhangs are typical and encouraged. A minimum overhang of 12 inches is required and can extend up to 30 inches. This maximum does not apply to roof overhangs that are extended to create trellises and porches.

**Windows & Doors:**

Glass block and horizontal bathroom “gunslit” windows are discouraged. Mirrored glass is not permitted.

**Fences, Gates & Driveways:**

1. DESIGN: Design of the walls and fences will be executed per an approved set of drawings that adhere to the guidelines of Chapter VI.
2. GATES: Decorative gates across the opening of the driveway are allowed behind the front yard setback.
3. CIRCULAR DRIVEWAYS: Circular driveways are not permitted.



*Gate across the driveway behind the front yard setback*



**Water Quality:**

The design of the water quality facilities will be executed per an approved set of drawings that adhere to the standards within this Specific Plan.

**Garages:**

1. POSITION OF GARAGES: Garages should be set back a minimum of 5 feet from the main facade.
2. GARAGE DOORS: Back-up from garages must be twenty eight (28) feet minimum clear and the turning radius into a side entry garage must be twenty-six (26) feet minimum.
3. NUMBER OF PARKING SPACES: On-site Parking - A minimum of two (2) enclosed parking spaces are required for each individual lot.
4. PARKING LOCATION AND SCREENING: All parking should be contained within a parking court, behind courtyard walls or landscape which screens parking areas and garage doors as much as practical from off-site views.

**Accessory Structures:**

1. SIZE RESTRICTIONS: Stand alone accessory buildings can be no larger in overall square footage than 33% of the living space of the main residence. The footprint of a stand alone accessory building can be no larger than 25% of the footprint of the main residence (including any attached garage of the main residence).
2. SETBACKS: The front yard setback for a stand alone accessory structure is a minimum 50 feet. No component of a stand alone accessory structure can be located within ten feet of any property line.
3. HEIGHT: No component of a stand alone accessory structure can exhibit a height greater than the highest part of the main residence. Every component of a stand alone accessory structure located within the rear yard setback is restricted to 16 feet in height.
4. FLOOR AREA RATIO CALCULATION: The square footage of a stand alone accessory structure shall be included in the FAR calculation for the parcel.
5. CONSISTENT WITH MAIN RESIDENCE: Stand alone accessory structures are to be consistent in architectural design, color, and materials with the main residence. The structure must exhibit the

same roof material, wall treatment, color, window and door design and detailing of the main residence. This does not apply to greenhouses.

***Second-Kitchen Units:***

(Refer to the City of Glendora Municipal Code for regulations regarding Second-Kitchen Units.)

**C. PUBLIC AREA**

The design of the public areas, including streetscape, open spaces, and emergency access will be executed per an approved set of drawings that adhere to the guidelines of Sections 4 and 5 of Chapter VI.

***Landscaping:***

The design of the landscaping will be executed per an approved set of drawings that adhere to the guidelines of Chapter VI.

***Water Quality:***

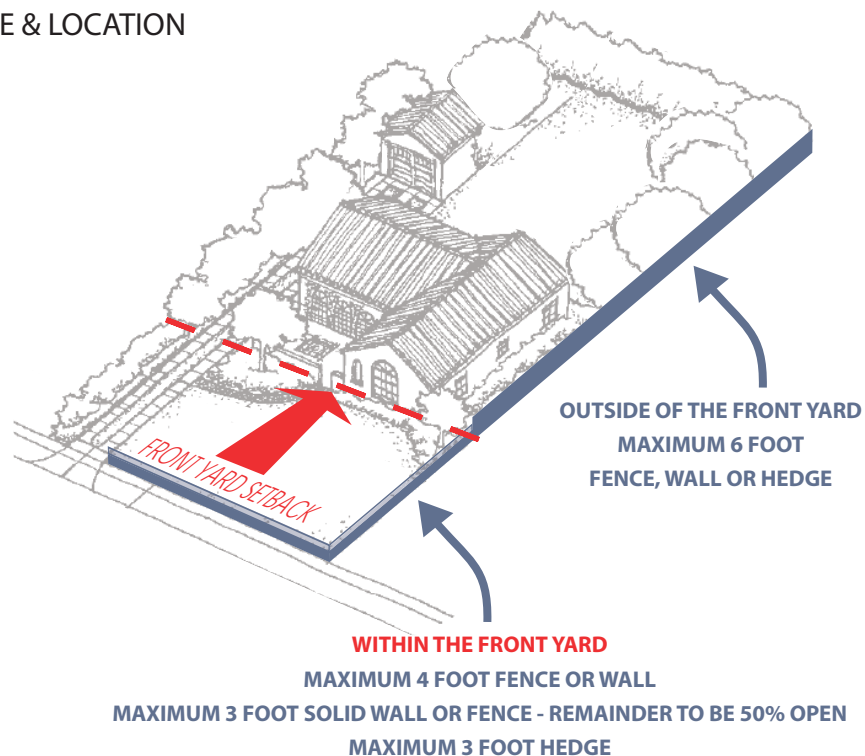
The design of the water quality facilities will be executed per an approved set of drawings that adhere to the standards within this Specific Plan.

***Project Perimeter Theme Walls & Fences:***

1. DESIGN: Design of the walls and fences will be executed per an approved set of drawings that adhere to the guidelines of Chapter VI.
2. PROHIBITED FENCE MATERIAL: Chain link, barbed wire, wood fences with only one "good" side, and grapestake fencing are not permitted.
3. OPEN SPACE BORDERS: Fences bordering or fronting open space, or other common areas shall be wrought iron or tubular steel.
4. METAL PAINT COLOR: Wrought iron or tubular steel fence color should be dark black, brown, or deep green.
5. PERIMETER SOLID WALL MATERIAL: Acceptable wall materials include planted hedges, stone, masonry with plaster finish, adobe block, and slump block with stucco finish. Combination walls may consist of a 12" high masonry or stone wall below a tubular steel or wrought iron fence (total height not to exceed six (6) feet.

6. PROHIBITED PERIMETER SOLID WALL MATERIAL: Prohibited wall materials include exposed concrete block, metal panels, railroad tie, glass, cribwall, and similar materials. Vendura walls are allowed as long as they are planted so as to be fully covered with vegetation.
7. FRONT YARD WALLS: Front yard walls are allowed. Maximum height is three feet (3').
8. COLOR: Perimeter walls should be colored in conformance with the color palette of the main residence, or in earth tones and subtle shades. Planting of climbing vines on walls is allowed and encouraged.
9. CAPS: All walls should have a stone or concrete cap with a minimum of a one (1") inch reveal on each side. Precast concrete caps are allowed.
10. PILASTERS: All walls should have pilasters at the ends. Walls must be centered on the pilaster.
11. HEIGHT: FRONT YARD - Fences and walls not exceeding four feet (4') in height shall be permitted within the front yard setback if no more than three feet (3') or fifty percent (50%) is solid and the remainder is at least fifty percent open. OTHER YARDS - Fences and walls not exceeding six feet (6') in height shall be permitted behind the front yard setback.

■ FENCE TYPE & LOCATION



# Design Guidelines

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## VI

### A. ARCHITECTURAL STYLES

#### 1. *Types & Characteristics*

The character of the existing neighborhood reflects its natural setting and legacy of being built over many years. The variety in housing styles and design makes it unreasonable to assign a single motif to this neighborhood. Consequently, architectural standard guidelines are inappropriate. Given that the homes in the neighborhood differ in terms of home size, landscape theme, and design treatment, applicants should give close attention to how their project achieves compatibility with their immediate neighbor. Projects will be judged on an individual basis which includes appropriateness to the natural topography, degree of visibility, intrinsic merit of design, and compatibility with the neighborhood.

#### *ARCHITECTURAL STYLE GUIDELINES:*

1. **SIMPLICITY:** Architectural design philosophy should emphasize simplicity, restraint, limited but rich ornamentation, and quality materials.
2. **SHADE TREES:** An allotment of trees in the landscape plan should, upon maturity, exceed the height of the home and help the house retreat into the background.
3. **QUALITY MATERIALS:** Exterior materials should include a limited variety of compatible materials such as stucco, wood, glass, natural stone, masonry, and climbing vines.
4. **COLORS:** Exterior colors should adhere to a restrained palette of natural colors and avoid vivid, bright and flashy displays.



### PHOTOGRAPHS

The photos used in this Specific Plan are not part of the regulatory scheme but they are indicative of the concepts these standards and guidelines are conveying.



■ ARCHITECTURAL STYLE GUIDELINES

*Both homes depicted use quality materials and accents, designed with restraint. Note the attention to details such as landscape walls, chimneys, window surrounds and an emphasis on the front entrance.*





■ ARCHITECTURAL STYLE GUIDELINES

*Both homes depicted use quality materials and accents. Note the attention to details such as landscape walls, chimneys, window surrounds and an emphasis on the front entrance.*





## ■ EXISTING NEIGHBORHOOD CHARACTER

*The overall Design Guidelines provide specific design elements. As an adjunct, the following neighborhood photos give supplemental guidance to applicants regarding the attributes of proposed new development that should be evident to help attain compatibility with the neighborhood bordering the Specific Plan Area.*



*Both single story and two story homes exist in the neighborhood, many side by side.*



*Many homes recede beneath a canopy of existing mature vegetation.*



■ EXISTING NEIGHBORHOOD CHARACTER



*Ranch homes exist throughout the neighborhood with traditional ranch style attributes such as generous roof overhangs and windows that are wider than they are tall.*



*Some of the charm of the neighborhood can be found in the eclectic nature of the home designs.*

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**B. BUILDING PLACEMENT**

Structures are to appear to recede into the site. The Specific Plan includes largely level lots of at least 20,000 square feet which allows greater flexibility in building placement. Designers should create new dwellings that are compatible with existing homes and consistent with the texture and color of the natural setting including landscaping and hillsides.

**1. Placement of the Main Residence**

**OVERALL BUILDING PLACEMENT GUIDELINES:**

1. EMPHASIZE NATURAL SETTING: New homes in the Specific Plan are to respect the approach taken by most existing homes in the neighborhood, that take a second position to their natural setting. The residence should not be the sole focus of the lot. Landscaping might play a larger role in accomplishing this rather than the building placement on some lots.
2. ACCOUNT FOR WILDFIRE: Site buildings and manage vegetation through fuel modification requirements to account for wildfire hazards in any Very High Fire Hazard areas of the Specific Plan. (Currently Specific Plan - North)
3. ALLOW FOR EXTRA VEHICLE STORAGE: In the event on-site vehicle storage is needed to store boats, trailers, and recreational vehicles, parking shall be outside of the front yard and screened from neighboring properties as required by the City's RV parking requirements.
4. CREATE DEFENSIBLE SPACE: For fire prevention purposes, a fuel modification plan consistent with Los Angeles County Fire Department fuel modification plan requirements shall be submitted to the City of Glendora Department of Planning and Redevelopment and Department of Public Works for review and approval prior to issuance of building permits.
5. ACCOUNT FOR THE SETBACKS OF EXISTING HOMES: New construction should use setbacks in keeping with the established building line along a street. The Specific Plan has a maximum setback of 35 feet to ensure that a home that assumes a deep front setback would not adversely affect the development of an adjacent lot.



■ BUILDING PLACEMENT

■ VIEWS

*The neighborhood features views to the south overlooking the valley, and to the north toward the mountains. New construction should take into account views from existing and future homes and design to reduce potential impairment.*



*Views to the south.*



*Views to the north.*

## 2. Views

There are no view protection regulations implied within this Specific Plan as views from the existing adjacent neighborhoods are not anticipated of being impaired by the project as proposed. Internal to the Specific Plan area however, consideration should be given in the house designs to not impair possible offsite views with the placement of prominent elements such as towers, chimneys, and second story dormers.

### VIEW GUIDELINES:

1. MINIMIZE VIEW BLOCKAGE: Respect views through the use of building setbacks consistent with neighboring structures, low landscape features (e.g., plants, walls, and fences), and roof plate heights, stepped back second stories, non-reflective paint and roofing materials, and roof forms that minimize mass.

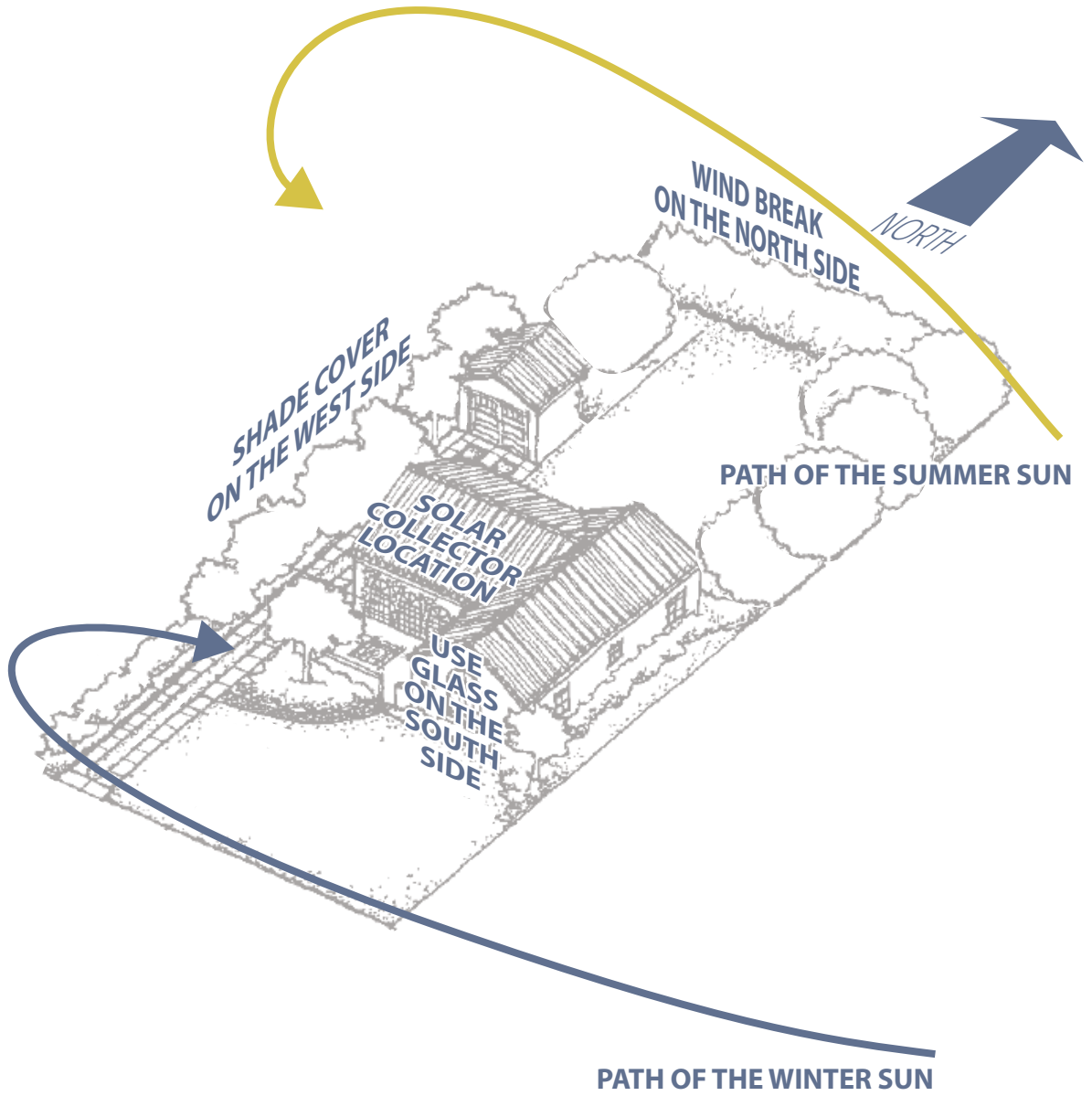
*The photo (below) provides a good example of off-setting the taller (second level) elements to one side in deference to the views a neighbor might enjoy. This is also a good example of segmenting the roof planes and having robust and significant roof dormers, and a well-placed chimney to reduce the mass and potential dominance of the roof.*





■ BUILDING PLACEMENT

■ SOLAR ACCESS DESIGN GUIDELINES SUMMARY



### 3. **Solar Access & Solar Energy Systems**

Access to sunlight is important for energy efficiency and landscaping as well as for homes that use solar energy. It is also important to ensure adequate access to sunlight on the south side of properties so that passive solar heating opportunities are available and solar energy systems can be installed.

#### **SOLAR ACCESS GUIDELINES:**

1. ALLOW SOLAR ACCESS FOR NEIGHBORS: Wherever possible, orient building volumes and second stories to allow solar access to neighboring properties. Limit the height of structures near “northerly” property lines such that the structure does not unduly encroach into a neighbor’s solar access plane.
2. DESIGN FOR SOLAR INSTALLATION:
  - EXPOSURES: Design for southern roof exposure. Shade the west side. Create a wind break on the north side. Place and orient homes to take advantage of natural heating and cooling, sun and wind exposure, and solar energy opportunities. Panels should ideally face south, with southeast and southwest as secondary options. If the placement can’t face south, west is better than east to capture late afternoon sun.
  - TILT ANGLE: The ideal tilt angle for Southern California is approximately 17 degrees - roughly a 4:12 pitch..
  - ROOF SPACE FOR SOLAR COLLECTORS: Technologies as of Spring 2010 require between 300 and 600 square feet of south-facing, shade-free roof space for most solar collection installations. for average homes (2,500-3,000 square feet). This is only a guideline, as it is likely that with the advance in technology the efficiency will improve and less space will likely be required.
  - BUILDING INTEGRATED PHOTOVOLTAICS (BIPV): As much as possible solar collectors placed on front-facing roofs and visible from the street should be unobtrusive, matching (within reason) the color and texture of the roof. Technology is emerging that will likely make this more possible.



*A solar collector (ca. 2010) that resembles roofing material and is less obtrusive*

■ BUILDING ENVELOPE

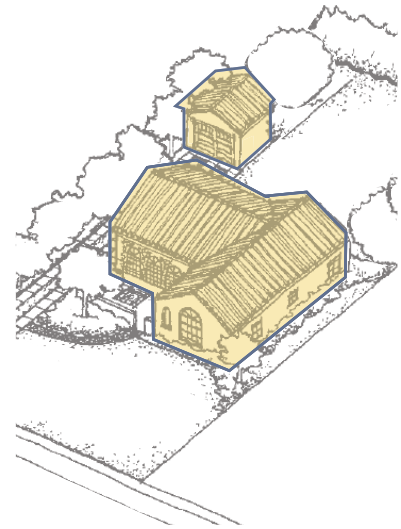
■ OFFSET EXAMPLES

*If appropriate for the architectural style, use offsets extending to grade on the long dimension of the dwelling. Articulate all sides of the dwelling facing a public right of way consistently, as well as on any attached accessory structure.*



**C. BUILDING ENVELOPE**

Building envelope refers to the planes and surfaces of a home. Building setback and height limitations in the Specific Plan place some scale restraints on new construction. However, a house built to maximum height and within setbacks may still result in a dwelling that is not compatible with the neighborhood. A dwelling may appear massive or bulky if the shape and/or façade is too simple and lacking in articulation and detail. Dwellings of different size can be in scale with one another if they share architectural characteristics, including building shape, complexity of form, or style and detail.



BUILDING ENVELOPE

**OVERALL BUILDING ENVELOPE GUIDELINES:**

1. USE OFFSETS: If appropriate for the architectural style, use offsets extending to grade on the long dimension of the dwelling. Articulate all sides of the dwelling facing a public right of way consistently, as well as on any attached accessory structure.
2. USE DECKS, BALCONIES, RECESSES: Use projecting or recessing architectural details, such as decks, bay windows or balconies, and appropriate complementary changes in building materials or colors to visually break up long unarticulated walls.
3. DESIGN TO MITIGATE BULK AND MASS: Minimize size, bulk, and scale through the use of appropriate roof style and shallow pitch, form and materials, varied setbacks, asymmetric design, window treatment and location, and door size and type. Break up mass to create interplay between various building elements.
4. ACCOUNT FOR THE SIZE OF NEIGHBORING HOMES: Structures that are significantly larger in size, bulk, scale, height, or architectural style from adjacent dwellings may be allowed if the new dwelling is consistent with the design guidelines regarding placement, privacy, shade, and overall neighborhood character.



■ BUILDING ENVELOPE

■ BALCONY EXAMPLES

*Use projecting or recessing architectural details, such as decks, bay windows or balconies, and appropriate complimentary changes in building materials or colors to visually break up long or tall walls.*





■ BUILDING ENVELOPE

■ DESIGN TO MITIGATE BULK & MASS

*Minimize size, bulk, and scale through the use of appropriate roof style and shallow pitch, form and materials, varied setbacks, window treatment and location, and door size and type. Break up mass to create interplay between various building elements.*





■ BUILDING ENVELOPE

■ PORCH EXAMPLES



**1. Height**

Maximum building height is 25 feet measured from the top of roofing material to finished grade: A modest extension above the 25-foot limit is allowed for chimneys, but no more than is required to meet Building Regulations

**2. Porches & Courtyards**

*PORCH & COURTYARD GUIDELINES:*

1. PORCH DEPTH: Porches shall be a minimum 6 foot in depth and be usable.
2. POSTS AND COLUMNS: Posts may be wood, stucco, stone, cast concrete, or metal typically simplified in form. Columns should be robust (10-15 inches wide) and feature a wood, stone, or masonry base and cap. Columns, bases and caps can be accented with decorative carvings and tile.
3. DECKING TO BE FIREPROOF: Use heavy timber or noncombustible construction materials for decks. Enclose the underside of balconies and above ground decks with fire resistant materials to prevent embers from blowing underneath.
4. COURTYARDS: Front yard courtyards are allowed and encouraged.

**3. Second Stories**

*SECOND STORY GUIDELINES:*

1. PRIVACY: Window placement, and landscape screening to minimize (as much as practical) second floor windows overlooking the rear yard of existing homes.
2. SECOND FLOOR SIZE LIMIT: The second story shall be no more than 75% of the footprint of the first floor. (minus 400 sf. of the garage)
3. ACCOUNT FOR THE HEIGHT OF THE HOME NEXT DOOR: Certain lots in this Specific Plan are restricted to a single story, in order to account for compatibility and height.



*The second story shall be no more than 75% of the footprint of the first floor. (excluding up to 400 s.f. of the garage)*



■ BUILDING ENVELOPE

■ FRONT YARD COURTYARD EXAMPLES

*Front yard courtyards are allowed and encouraged.*



**4. Roofs**

In a low-profile setting the color, texture, pitch and style of a roof can have a profound impact in the overall character of a home.

**ROOF GUIDELINES:**

1. **SIMPLICITY:** Roofs should be simple and straightforward. Complex roofs are discouraged. The use of valleys should be minimized.
2. **ROOF MATERIALS:** Desirable roof materials include manufactured barrel, light weight cement, modified barrel, light weight, two piece clay tiles, two piece Roman pan clay tiles or flat clay tiles, slate, and cement tiles and others approved by the City of Glendora.
3. **ROOF ELEMENTS:** Flashing, sheet metal, vent stacks and pipes should be painted to match adjacent building surfaces or the roof, or otherwise treated to recede into the background.
4. **SKYLIGHTS:** Skylights should be designed as an integral part of the roof. and exhibit quality in materials and design, for instance, they should be flat bronze-colored glass in bronze-anodized frames. Bubble and white plastic skylights are not allowed.
5. **EXPOSED RAFTER TAILS:** Exposed heavy timber rafter tails may be used where appropriate.
6. **GUTTERS AND EAVES:** If used, exposed gutters should be non-extruded, half-round gutters with round downspouts unless otherwise approved by the City of Glendora. Gutters and downspouts should be designed as a continuous architectural feature. Gutters and downspouts may be made of copper or shall be painted dark to imitate aged metal or painted to match the roof, the trim, or the wall. Downspouts and rain leaders should be placed in building corners and at inconspicuous locations. Decorative gutter boxes may be used sparingly where required. Roof eaves should be boxed in with fire resistant materials to protect the underside of eaves and soffits.
7. **DORMERS:** Dormers should be robust and significant and provide relief from the mass of the roof.
8. **PRIVACY:** Windows should be placed mindful of potential intrusions in privacy for adjacent residents.



*Inadequate Dormers*



*Desirable Dormer*



■ ROOFS

■ SECOND-STORY EXAMPLES

*The second story to be no more than 75% of the footprint of the first floor, excluding up to 400 s.f. of attached garage space.*



9. CHIMNEYS: A maximum of five (5) chimneys are permitted per house. Maximum height to the top of the chimney is four (4) feet above the nearest ridge line or four (4) feet above the nearest roof slope as measured from a distance of ten (10) feet away from the face of the chimney. Chimneys protruding from one story roofs must be located away from an adjacent two story roof to limit excessively high chimneys. Chimney caps must be designed to complement the major architectural elements of the house, must screen the spark arrester and shall not be constructed of painted sheet metal. Exposed metal flues and spark arresters are not permitted. Wherever possible, chimneys from 1-story spaces should be integrated into second story wall massing to diminish the impact of tall chimneys over 1-story roofs. The location of chimneys on the low side of 1-story shed roofs is discouraged.
10. ANTENNAS, DISHES, AND SIMILAR: All antennas and satellite dishes and similar roof-mounted apparatus shall either be restricted to the attic or interior of the residences or, if mounted on the exterior, shall be reasonably obscured from view from the public right-of-way.
11. OVERALL INTEGRATION OF ELEMENTS: Integrate solar energy collector panels, tiles or shingles, skylights, and other roof-mounted equipment into the roof forms. Minimize their visual prominence when viewed from the street and nearby dwellings. Roof-top heating and air conditioning systems are not permitted.
12. OVERHANGS: In some styles of architecture generous overhangs are typical and expected. and in such instances a minimum overhang of 12 inches is desirable. Some styles do not have generous overhangs. Some overhangs are extended to create trellises and porches, if that is consistent with the architectural style.
13. OVERALL INTEGRATION OF ELEMENTS: Integrate solar energy collector panels, tiles or shingles, skylights, and other roof-mounted equipment into the roof forms. Minimize their visual prominence when viewed from the street and nearby dwellings. Roof-top heating and air conditioning systems are not permitted.



## ■ ROOFS

### ■ ROOF EXAMPLES

*The color, articulation, texture, pitch and style of a roof can have a profound impact in the overall character of a home. Below are good examples of roof design and execution.*





■ CHIMNEY EXAMPLES

*Chimneys on outside walls should have exterior treatment to add distinction, texture, and shadow effects. Chimney caps should feature designs derived from the materials and architecture of the home.*



## ■ GARAGES & ACCESSORY STRUCTURES

### ■ GARAGE PLACEMENT

*Garages can be split and offset to reduce their visual impact. Garages shall be stepped back to reduce their visual impact and to enforce the primacy for the front door entrance.*



*The example (left) has good high-quality wooden garage doors, but the placement of the garage dominates the front elevation, which is not desirable.*



**D. GARAGES & ACCESSORY STRUCTURES**

**1. Garages & Parking**

Garages can be split and offset to reduce their visual impact. Garages shall be stepped back to reduce their visual impact and to enforce the primacy for the front door entrance.

**GARAGE & PARKING GUIDELINES:**

1. COMPATIBLE WITH MAIN STRUCTURE: Garages and carports should be architecturally consistent with the main dwelling. Garages should not be the dominant design feature of the front façade. Garage placement, exterior treatment, and position should be varied.
2. POSITION OF GARAGES: Attached garages and carports should be subordinate to the main dwelling and architecturally consistent in detail. For garage openings wider than 50 feet, it is recommended that such garages be fronted with a porte cochere (see photograph lower right)
3. GARAGE DOORS: Garage doors should be designed for architectural and visual interest. Garage door openings should not face the street or must be offset from the driveway and screened with landscaping. A variety of garage entry conditions are encouraged. Rear Lot, multi-car, multi-car with tandem spaces, and split designs are allowed.



*Though the garage doors depicted above are quality and fit the architecture, their placement as the dominant feature of this front elevation is discouraged.*

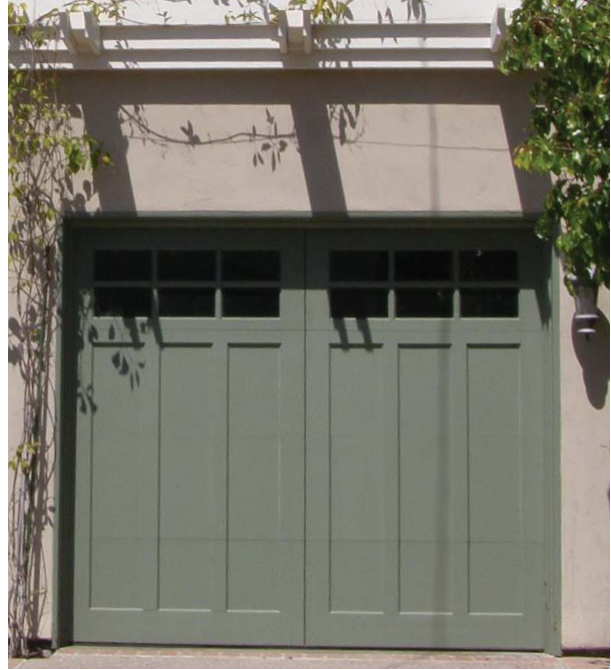


*Porte Cochere Example*

## ■ GARAGES & ACCESSORY STRUCTURES

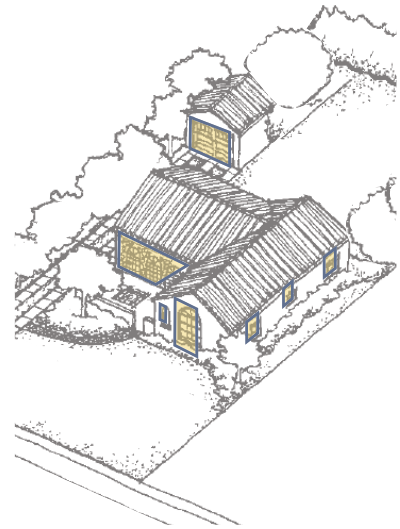
### ■ GARAGE DOORS

*One way to reduce the visual impact of a garage is to create a separate opening for each parking space. Garage doors should be executed in complimentary colors and exhibit rich detail. Natural wood finished garage doors have less visual impact. Painted garage doors should exhibit multiple panes, different planes, and robust framing.*



*Separate Garage Doors*

4. NUMBER OF PARKING SPACES: On-site Parking. A minimum of two (2) enclosed parking spaces are required for each individual lot.
5. PARKING LOCATION AND SCREENING: All parking should be contained within a parking court, behind courtyard walls or landscaping that partially or fully screens parking areas and garage doors as much as practical from off-site views.
6. CARPORTS: Carports should be landscaped and screened from view from adjoining parcels.



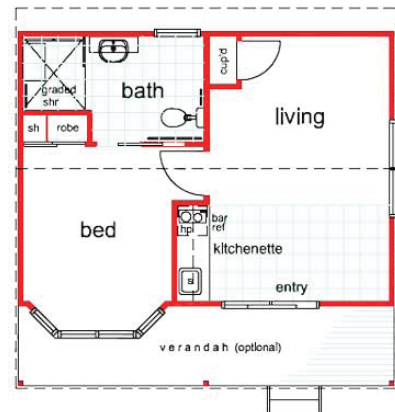
WINDOWS & DOORS

**2. Stand-Alone Accessory Structures & Second Kitchen Units**

The following guidelines apply to accessory structures that are not attached to the main residence. This includes detached garages, studios, pool houses, greenhouses, and second-kitchen units. Second-kitchen units are permitted and function as independent living quarters from the main residence while maintaining the appearance of being an integral part of the site development. Refer to the City of Glendora Municipal Code for regulations regarding Second-Kitchen Units.

**STAND ALONE ACCESSORY STRUCTURE GUIDELINES:**

1. UNOBTRUSIVE: Stand alone accessory buildings should be unobtrusive and blend with the site and the main residence.
2. NOT THE DOMINANT VIEW: Avoid placing accessory structures where they are a dominant component of the view from the street frontage or other public viewpoints or an adjoining residence.



*Second-Kitchen Units are permitted and function as independent living quarters from the main residence while maintaining the appearance of being an integral part of the site development.*

**E. BUILDING DETAILS**

**1. Windows & Doors**

Doors and windows are visually distinctive and prominent features on a dwelling. They are a link between private and public space and can provide a sense of security for both. They also establish an architectural rhythm and affect the apparent mass of the dwelling.



■ WINDOWS & DOORS

■ WINDOW DETAILS

*Windows are to be multiple pane, operative (picture windows excepted). Fabric and metal slat awnings are encouraged to add subtle color accents and texture.*





**WINDOW GUIDELINES:**

1. SPACE BETWEEN OPENINGS: Windows and doors should have ample dimension between all openings and building corners to reflect the opening to mass ratios of each style.
2. SURROUNDS AND SILLS: With the exception of accent windows and doors, window and door trim and surrounds should have a consistent treatment on all major building elevations. Window surrounds shall be deeply recessed stucco or rustic stone. Window sills should be relatively flat with a slight incline.
3. LITES AND DIVIDES: Windows shall have true non-removable divided lites. Individual window panes shall be relatively small, rectangular and vertically proportioned. Ranch homes are allowed more horizontally proportioned windows because that is the traditional approach.
4. RECESSED WINDOWS: Recess windows into the wall plane enough to add shadow effects and provide visual relief. The exterior plaster return shall be perpendicular and tight to the window frame.
5. CONSTRUCTION: Wood, clad wood or steel hinged casement or fixed casement windows are preferred. Second Floor windows should be vertically proportioned casements or French doors with decorative iron or wooden railings.
6. FRAME COLOR: Window frames are encouraged to be a color other than white.
7. AWNINGS: Fabric and metal slat awnings can add accent color and address heat gain from sunlight. Metal awnings can only be metal slats with openings between. Solid aluminum or steel awnings are prohibited.
8. PICTURE WINDOWS: A picture window or bay window is often located on the primary façade. Additional picture windows are typically located to frame notable views.



*Recess windows into the wall plane to add shadow effects.*

*Fabric awnings can add accent color and address heat gain from sunlight.*

■ WINDOWS & DOORS

■ ENTRY DOOR DETAILS

*Main entry doors should be (but are not required to be) ceremonial, substantial and robust with real wood, glass windows, glass side lights, luxury hardware and above average height.*



**DOOR GUIDELINES:**

1. ENTRY DOORS: The primary entry portal or entry door should receive special delineation and greater differentiation from all other exterior doors. Designs should emphasize the main entrance with porches, archways, alcoves, and a prominent location on the front facade. Design the entry in proportion to the scale of the dwelling. Avoid the use of columns, towers, and other entry features that are out of scale or style with the dwelling and/or neighborhood.
2. DOOR CONSTRUCTION: Door may be single or paired. Doors should typically be wood, either paneled or plain. Main entry doors should be (but are not required to be) ceremonial, substantial and robust with real wood, glass windows, glass side lites, luxury hardware and above average height.



*(above) Metal awnings can only be metal slats with openings between. Solid aluminum or steel awnings are prohibited.*

*(left) Window and door shutters shall be operable authentically styled complete with authentic hardware.*



■ WINDOWS & DOORS

■ FRONT ENTRY TREATMENT

Homes shall exhibit designs that emphasize the front door over all other exterior elements. Vertical elements in the elevation should draw attention to the entrance with landscape accents to further reinforce the primacy of the front door entry.



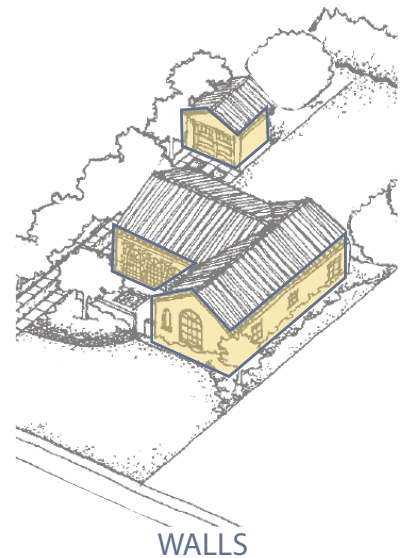


3. UPPER STORY RECESSED EXTERIOR DOORS: Performing a deep recess, and adding railings, awnings, doors and decorative accents to the typical programmed window opening can result in an upper story recessed exterior door which results in shadow effects and interest. (see this page for examples)

**2. Exterior Wall Treatment**

**WALL TREATMENT GUIDELINES:**

1. NUMBER OF MATERIALS: Use a limited number of exterior materials to minimize conflicting design features.
2. COLOR: Use warm, earth-toned materials and colors to integrate with the surrounding terrain and reduce glare and the apparent mass of the dwelling. Exterior materials and colors should complement the style of the dwelling and neighborhood, and permit it to blend with surrounding natural features when viewed from a distance. Wall cladding should vary in tone, color, material and arrangement to diminish the bulk and to fit in the neighborhood vernacular. A structure should not be overwhelmed with exterior finishes to the degree that it adds to the appearance of bulk and mass to the structure.



*The image (below) is a good example of a balanced mix of exterior wall treatments blending stucco and stone.*

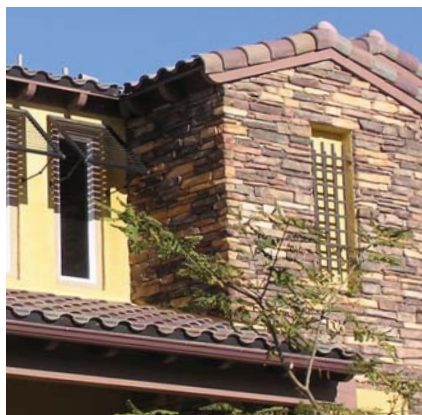
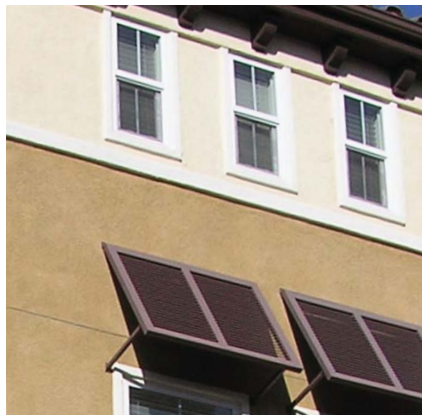




■ WALLS

■ EXTERIOR WALL TREATMENT

*Use warm, earth-toned materials and colors to integrate with the surrounding terrain and reduce glare and the apparent mass of the dwelling.*



3. APPLICATION OF MATERIALS: “Wrap” accent materials (stone, wood cladding, etc.) and style specific design elements on all elevations exposed to public view appropriate to the architectural style of the home. Stone, for instance, should be carried “around the corner” to a logical terminus (wall projection, chimney, etc.).
4. STUCCO FINISHES: For the most part, stucco finish should be a quality finish, not “heavy”. Mottled, “burned” and faux finishes which reflect an authentic aged plaster are acceptable. Use fire resistant materials such as stucco, masonry or other fire-rated materials on exterior walls and throughout the structure. Use of durable and recycled construction materials such as cement fiber siding and tile roofing is encouraged.
5. USE OF STONE: Stone should be an accent, (such as the cladding of one bay) not the dominant material of the entire home, and it should exhibit a range of earth tone colors common to the area stone and soils. Formal, rectangular, equal-sized dressed stone quoins used to reinforce an exterior corner of a building and laid on squared beds are allowed. Use of real stone and high grade quality synthetic stone, faux stone and/or stucco stone is allowed.

*The image (below) is a good example of a comprehensive approach to exterior treatment in which the color and application of the stone compliments the color of the stucco walls and window/door trim. This home also succeeds by extending exterior stone cladding to landscape elements such as the retaining walls. The roof material color and style also performs a complimentary function, and the chimney incorporates details similar to the main body of the home. The home also uses offsets and varies the wall planes enough to mitigate the bulk and mass of both the walls and the roof.*





■ LANDSCAPING – PRIVATE RESIDENTIAL DWELLING

■ PLANT MATERIAL EXAMPLES

*Homeowners are encouraged to limit turf areas to defined areas extending from the home or patio. Turf areas are not prohibited, but they should be minimized where possible.*





- WOOD: When wood is used it should be treated with a weather-resistant treatment. For a natural look, stain is preferred over paint.

**F. LANDSCAPE – PRIVATE RESIDENTIAL DWELLING**

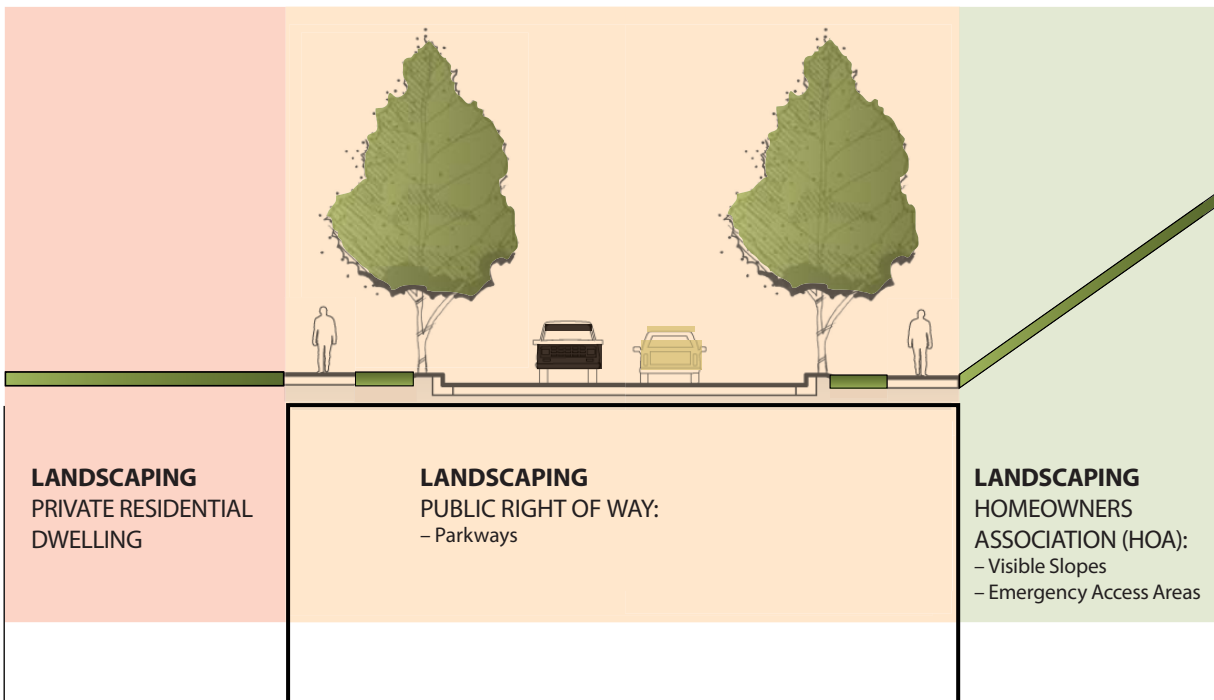
Landscaping is addressed in three sections. The first section addresses private residential dwellings, followed by a section on landscaping in the public rights-of-way, and finally, a section with guidelines for landscaping maintained by a homeowner’s association.

**1. Plant Material**

All landscaping shall be developed with drought tolerate, arid and ornamental landscape to complement the overall project character. The specific plan areas will mesh the surrounding existing landscape to create a soft transition condition. All landscaping within the project shall conform to standard horticultural installation and maintenance.

**OVERALL PLANT MATERIAL GUIDELINES:**

- WATER WISE PLANT CHOICES: Plant palettes are to adhere to all applicable water conservation regulations and ordinances.



■ LANDSCAPING – PRIVATE RESIDENTIAL DWELLING

■ PLANT MATERIAL ARRANGEMENT EXAMPLES

*Plant material should be afforded enough space to grow to maturity with a minimum of pruning.*



*Trees and shrubs should not be pruned into artificial shapes; should be allowed to mature naturally.*



## ■ LANDSCAPING – PRIVATE RESIDENTIAL DWELLING

2. NATIVE PLANTS: Mix in native California plants in high fire hazard severity zones, including well-adapted firewise non-native plant material.
3. HIGH FIRE HAZARD SEVERITY ZONE: In the High Fire Hazard Severity Zone select plants for their ability to reduce wildfire hazards. Avoid landscaping which promotes ladder fuels (vegetation that allows fire to move from lower growing plants to taller ones). Place plants with adequate spacing and use permeable hardscape features to break up continuous dense cover of shrubs and trees.
4. ARCHITECTURAL ENHANCEMENT: Landscaping such as vines, espeliers, shrubs, trees or trellises should be used to enhance the architecture, creating attractive public and private open spaces.
5. FRONT YARDS: Front yards should be designed using plant material and other landscape elements that compliment the building form, horizontal and vertical lines, hardscape and softscapes that display texture and color compatible with the colors and building materials of the building.
6. SHADOWS AND SHADE: Landscape plans should locate trees, shrubs, and new structures to avoid casting shade onto a neighbor's solar energy system after that system is installed.
7. ROOT STRUCTURES: All plant material is to be chosen mindful of the potential, among some species and varieties, of root incursion into subsurface pipes and conduit, and root mass that damages paving and foundations.
8. ANTICIPATE AND MAINTAIN NATURAL FORM: With the exception of turf areas, all plants should be chosen and located so that they may be allowed to grow and mature in a natural form. Plants within public view should not be pruned into artificial shapes such as boxes, balls, triangles or topiary. Hedges should be planted in anticipation of full mature size to reduce the need for pruning to resolve conflicts with sidewalks and trails.
9. CHEMICAL AVOIDANCE OR ELIMINATION: Plant material should be chosen that is naturally compatible to the soils, climate, insect colonies and blight conditions of the Specific Plan setting so as to avoid or eliminate the need for the use of herbicides, insecticides, or other poisons and chemicals within both private and public property within the Specific Plan Area.



■ LANDSCAPING – PRIVATE RESIDENTIAL DWELLING

■ HARDSCAPE EXAMPLES

*Use of natural stone and brick pavers is encouraged. Stamped concrete, stamped asphalt, or similar artificial pavement enhancements is not allowed.*





***TREE GUIDELINES:***

1. SHADE TREES: Plant new shade trees on new development parcels sufficient to respect the generally shaded nature of the neighborhood.

***SHRUB GUIDELINES:***

1. ANTICIPATE SHRUB SIZE AT MATURITY: Shrubs should be chosen mindful of their mature size in the location in order to minimize pruning. Ideally shrubs are allowed to remain natural. Shrubs should assume a second position to adjacent shade trees and not assume a size that will eventually interfere with adjacent trees.

***GROUND COVER GUIDELINES:***

1. GROUND COVERS: Ground covers should require low maintenance. Turf should be limited as a ground cover. Ground covers should be primarily low water using varieties with species of higher water requirements closer to the home. Homeowners are encouraged to limit turf areas to defined areas extending from the home or patio. Turf areas are not prohibited, but they should be minimized.

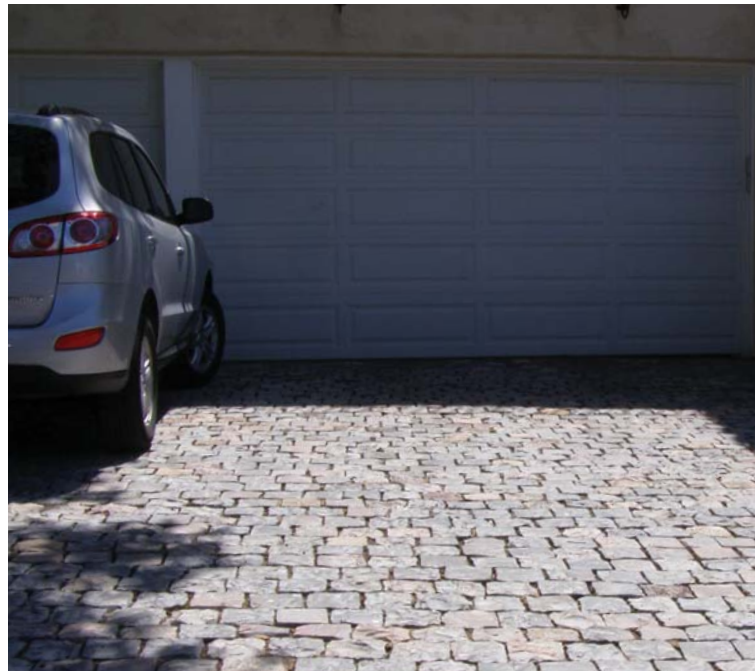
***DRAINAGE AND WILDFIRE IRRIGATION GUIDELINES:***

1. DRAINAGE: Where appropriate and as required by the project SUSMP, infiltrate runoff through on-site storage and drainage systems, such as into landscaped areas, bioswale and detention basins.
2. WILDFIRE IRRIGATION: For fire prevention purposes, a fuel modification plan consistent with Los Angeles County Fire Department fuel modification plan requirements shall be submitted to the Department of Planning and Redevelopment and City of Glendora's Department of Public Works for review and approval prior to issuance of building permits.

■ LANDSCAPING – PRIVATE RESIDENTIAL DWELLING

■ DRIVEWAY PAVING EXAMPLES

*Driveways are typically the most prominent and visible hardscapes on a home site. Their treatment is important in conveying a sense of quality and design. Though not mandated, it is recommended that driveways be paved with brick pavers, stone insets, concrete pavers, or similar treatments. Stamped concrete or stamped asphalt is not allowed.*



## 2. **Hardscape**

### **PROHIBITED HARDSCAPE MATERIALS:**

Materials not permitted to be used for sidewalks, driveways, patios and courtyards:

1. Patterned Concrete (stamped brick, stamped stone)
2. Asphalt

### **DRIVEWAY GUIDELINES:**

1. DRIVEWAY PAVING MATERIALS: The following are allowed driveway paving options:
  - Concrete
  - Paving Brick
  - Natural Stone Unit Pavers
  - Pre-cast Concrete Pavers (natural stone colors)
  - Wire Cut Brick
  - Fired Clay Pavers
  - Terrazzo
  - Auto courtyards can feature gravel paving beyond the front yard setback

### **HARDSCAPE GUIDELINES:**

HARDSCAPE PAVING MATERIALS:

The following are recommended materials:

- Concrete
- Textured Concrete
- Paving Brick
- Natural Stone Unit Pavers
- Pre-cast Concrete Pavers (natural stone colors)
- Wire Cut Brick
- Fired Clay Pavers
- Terrazzo
- Interlocking concrete pavers (natural stone colors) tumbled and weathered



*Desirable mix of pavers and concrete, complimentary to the exterior wall treatment and in keeping with the architecture.*



■ LANDSCAPING – PRIVATE RESIDENTIAL DWELLING

■ COURTYARD & PATIO PAVING EXAMPLES

*Paving for patios, courtyards and internal sidewalks should accent and enhance the landscape and architecture by use of natural materials, expressive installation, and extensive landscape borders.*





The following should be limited, used selectively, and not dominate the hardscape:

- Three-eighths (3/8) inch Earth Tone Pea Gravel
- Earth tone, or lighter Gravel, Stone, Pebbles, Decomposed Granite and Similar Materials (earth tone or lighter)

**PERMEABLE PAVERS:**

Use of permeable paving materials to reduce run off is encouraged.

**SLOPE OF WALKWAYS:**

Slope walkways toward landscaped areas to encourage water infiltration and reduce irrigation needs.

**3. Walls & Fences**

Fences and walls between lots (perimeter) should blend with both the architecture and the landscape, while still providing privacy and security consistent with the needs of individual lot owners. Fences and walls placed on lots should be an extension of the colors and materials of the adjacent residential architecture, visually compatible and be of materials related to the land (such as stone). They may occur as an extension of house living spaces, to frame courtyards or to direct views. Wrought iron fencing styles are encouraged to maintain openness.

The following requirements apply to all fences and walls within the Specific Plan.

**PERIMETER FENCE GUIDELINES:**

1. PERIMETER FENCE MATERIAL: Acceptable fence materials include tubular steel and wrought iron. Solid fences may be wood as long as the wood fence has two “good” sides.

**PERIMETER SOLID WALL GUIDELINES:**

1. PERIMETER SOLID WALL MATERIAL: Acceptable wall materials include planted hedges, stone, masonry with plaster finish, adobe block, and slump block with stucco finish. Combination walls may consist of a 12” high masonry or stone wall below a tubular steel or wrought iron fence (total height not to exceed six (6) feet).



*Preferably perimeter walls would extend from an exterior wall of the main building and exhibit identical, or complimentary, exterior color and cladding.*

■ LANDSCAPING – PRIVATE RESIDENTIAL DWELLING

■ LANDSCAPE WALL EXAMPLES

*Landscape walls should be derived from the colors and architecture of the home, or from the natural colors, soils and rock of the area. They should compliment and not dominate a landscape. They should be faced with stucco, or constructed from, brick, natural rock and masonry. Stamped artificial treatments should be avoided. Climbing vines are often accents that break up the mass and imbed the wall into the setting.*



2. **WHEN TO USE SOLID WALLS:** Solid walls should generally be attached to buildings or architectural elements, and be designed to be a visually compatible with, or an extension of, the architecture of the building. and may be “attached” to the building by a gate.
3. **HEDGES:** Hedge “walls” are allowed and encouraged. and must comply with height restrictions for solid walls.
4. **COLOR:** Perimeter walls should be colored in conformance with the color palette of the main residence, or in earth tones and subtle shades. Planting climbing vines on walls is allowed and encouraged.
5. **CAPS:** All walls should have a brick, or stone or concrete cap with a minimum of a one (1) inch reveal on each side. Precast concrete caps are allowed.

***GATE GUIDELINES:***

1. Gates shall be tubular steel, wrought iron or wood. Wood gates are required to screen equipment areas. Gates may not be installed along rear property lines except at fuel modification easements. Finish colors for gates attached to fences shall be identical to the wood fence. Finish colors for gates attached to walls shall be derived from the color palette of the main residence or the wall.

***RETAINING WALL GUIDELINES:***

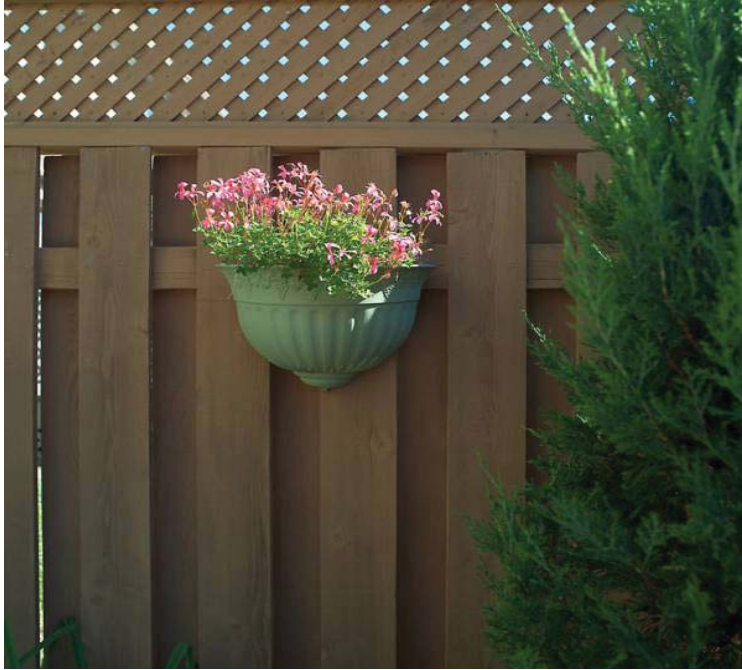
1. **TREATMENT:** Retaining walls should perform their function gracefully, and not be a dominant landscape element, and - if possible - be masked and mitigated with plantings.
2. **RETAINING WALL MATERIALS:** Acceptable wall materials include stone, masonry with plaster finish, adobe block and slump block with stucco finish. Where appropriate, a retaining wall should be made of natural boulders or cut stone. Precast caps are allowed.
3. **BERMS:** Gentle berms should be used where appropriate to reduce the impact of retaining walls.
4. **VINES:** Retaining walls should have vines planted on them to reduce their impact. Where retaining walls are allowed they should be stepped or terraced, and should blend into their surroundings, with height and length kept to a minimum. Vines or vegetation **MUST** be planted on Vendura-type retaining wall block.



■ LANDSCAPING – PRIVATE RESIDENTIAL DWELLING

■ SCREENING & PRIVACY FENCE EXAMPLES

*Fences erected to provide privacy or screening should be simple and wooden. Fences that face a neighbor shall have two “good” sides. Vinyl and chain link fences are prohibited.*



Source: Manufacturer's Catalogue



**SCREENING GUIDELINES:**

1. It is expected that the following utilitarian elements should be placed out of public view, or view of the neighbors (from the first floor) or otherwise screened:
  - Dog runs (allowed in side or rear yard only)
  - Mechanical equipment, such as heating or air conditioning equipment
  - Utility meters
  - Outdoor storage areas
  - Pool and fountain equipment, including sound attenuation devices and structures
  - Satellite dish and antennas
  - Spas
  - Trash enclosures
2. Screening may be accomplished by any one of the following means, or in a combination of means:
  - Enclosed in a building that is part of, or architecturally consistent with the style of the residential building.
  - A masonry wall of sufficient height. The treatment of the wall should match the architectural treatment of the main residence, or the walls and/or fences that are an integral part of the garden design.
  - Permanent landscape planting of evergreen hedges, shrubs, trees or vines of sufficient mature height, density and breadth to completely conceal from view those things that require screening.
  - Overhead trellis.

**OUTDOOR LIGHTING GUIDELINES:**

1. **MINIMAL LIGHTING:** Lighting is to provide levels of lighting sufficient to meet safety and orientation needs, but low enough to promote the community's rural character.
2. **COLOR OF THE LIGHT EMITTED:** Lighting must be warm-colored and unobtrusive. Light sources must be warm-colored. Incandescent, tungsten and metal halide sources are preferred; mercury vapor, sodium, neon and cool fluorescent are not permitted unless the light they emit can be made warm by filters and lenses.

■ LANDSCAPING – PRIVATE RESIDENTIAL DWELLING

■ RETAINING WALL EXAMPLES

*Retaining walls should be designed to compliment the architectural detailing of the main residence. Planter walls should include a concrete or stone cap. In the lower example the cap also serves as a seating wall.*



3. **FIXTURES:** Light sources should be concealed when possible, and lighting indirect. Exposed bulbs, spot lights, reflectors, and lenses are prohibited. Light fixtures on top of pilasters are not permitted.
4. **WALL MOUNTED LIGHTS:** Wall mounted fixtures should have seeded glass and be fitted with bulbs with accumulated output not exceeding 40 watts.
5. **REFLECTED LIGHT:** Light is allowed to be reflected off natural elements such as rocks or trees. Generally, light should be reflected from natural surfaces, such as bark, natural stone, leaves or wood. Lighting of large surface areas of stucco or other man-made materials will not be permitted.
6. **LIGHT OVERFLOW:** Light sources may not be directed into areas adjacent to the parcel. All light should be directed so that adjacent homes, open space and other areas are protected from substantial light overflow and glare. This applies to all exterior lighting.

***LANDSCAPE BOULDER GUIDELINES:***

The use of additional boulders as part of the site and landscape design requires special attention to the scale, proportions and arrangements of the boulders.

1. **SCALE:** The addition of boulder elements into the landscape and site needs to consider the scale of the existing elements.
2. **NATURAL ARRANGEMENT:** If additional boulders are proposed or existing boulders moved, they must be placed in a natural arrangement with the boulders being placed horizontal, not vertical, with a minimum of one-third of the boulder buried into the ground. Boulders should be naturally clustered, not “lined up” or evenly scattered. Boulders may not be placed “on top” of walls.

***IRRIGATION GUIDELINES***

1. The irrigation system should accommodate the water requirements of the plant material and provide just enough water for optimum plant growth. Efficient irrigation and drought tolerant plant materials will conserve a great amount of water. The use of moisture sensing devices is encouraged.



■ LANDSCAPING – PRIVATE RESIDENTIAL DWELLING

■ LIGHTING EXAMPLES

*Lighting should compliment, not dominate a landscape. Fixtures should be chosen mindful of their appearance during daylight hours. Flooding a home in light is no longer appropriate or acceptable.*



Source: Manufacturer's Catalogue



2. Irrigation plans are to indicate all components of the irrigation system, including point of connection, controllers, backflow preventers, irrigation heads and underground pipe locations.
3. All above-ground controllers shall be completely screened from adjacent roadways and set back a minimum of twenty-five (25) feet from the right-of-way.
4. Drip, bubbler or micro-spray should be used for trees and shrubs, mindful of overspray.
5. All natural grasses shall be irrigated for establishment purposes. Thereafter, natural grasses shall be allowed to change colors with the seasons.
6. Lots within the Specific Plan are to encouraged to examine the feasibility of irrigation with reclaimed water.

**G. LANDSCAPING – PUBLIC RIGHT-OF-WAY**

The public right-of-way consists of the public property outside of the property lines of the residential lots and exclusive of the linear park. Landscaping governed in this section applies only to land between the curb and sidewalk more specifically defined as the “parkway”.

**1. Trees**

Trees in the public right-of-way shall be limited in variety to simplify maintenance, create a strong unifying sense of character appropriate to the setting large shade trees are to be planted to bring unity and consistency to the streetscape. Trees should be selected from the Specific Plan Plant Palette (pages 136-137),

**2. Shrubs/Ground Cover**

Shrubs and groundcover are permitted in the parkway.

**3. Sidewalks/Parkway**

All new public streets in the Specific Plan will have 5-foot wide sidewalks separated from the street by a minimum 4 1/2-foot landscaped parkway to back of curb.

■ LANDSCAPING – PUBLIC RIGHT-OF-WAY

■ GATEWAYS

*There are potential gateway locations in the Specific Plan at Yucca Ridge Road and at Barranca Avenue. In the event gateways are to be built, the gateway concepts on these two pages are should guide the ultimate design, being significant but still maintain human scale and incorporating natural stone and landscape accents.*







## ■ LANDSCAPING – HOMEOWNER’S ASSOCIATION

### 4. *Lighting - Residential (Private)*

- Lights should be pedestrian level only. Identify where and when lighting is needed. Use only the number of lights needed to meet security and safety purposes.
- Design exterior lighting to control glare.
- Use shielded fixtures.
- Mount exterior light fixtures at pedestrian level to preserve the night sky and natural setting of the surrounding area.
- Select light sources (bulb types) and wattages according to the minimum level necessary to achieve desired illumination levels at ground level.

## H. LANDSCAPING – HOMEOWNER’S ASSOCIATION

It is anticipated that a homeowner’s association will be formed to bear the responsibility to care for the following open spaces and parcels within the Specific Plan. They are described as follows:

### 1. *The Linear Park*

The precise landscape design of the Linear Park is not specified in this Specific Plan. But, as a guide, it is intended to be identical to the plants (see plant palette, pages 136-137) and similar to, with respect to pavement type, pavement widths, landscape palette, walls and trails, and general approach to the design treatment found in the Arborea planned community immediately to the east of the Specific Plan.

### 2. *Visible Man-made Slopes*

These are disturbed areas or manufactured slopes that lie between native vegetation and ornamental areas. They will be vegetated in such a manner so as to provide visual and horticultural compatibility with adjacent native materials while transitioning to the ornamental landscaping. On large slopes over twenty (20) feet high, native grasses and wildflower seed mixes are allowed in combination with shrubs between tree and shrub groups for up to 30% of the area. Grasses are encouraged next to existing grasslands. Flower seed shall not comprise more than 5% of the total seed mix. Mowing or weed whipping is necessary only for fuel modification or brush management. On smaller slopes, shrubs from the plant palette are required.



3. *Emergency Access Points*

The Emergency Access Points have decorative bollards, hardscape and landscaping. The HOA would assume maintenance over these connections.

4. *“Letter Lots” that are neither part of the public right-of-way nor part of a private residence*

5. *The Private Drive adjacent to the Fairmount Cemetary*

Plant selections should be in substantial conformance with an approved master landscape and irrigation plan and may include, but is not limited to, the plant palette.

**HOA LANDSCAPE GUIDELINES**

1. Large trees, large shrubs or small trees located in large informal masses, planted as single species and in large groups to resemble native shrub arrangements.
2. Minimize mature tree and other vegetation removal to the extent necessary for the construction of the structure(s) and fire safety.
3. Integrate new structures and landscaping with the existing neighborhood vegetative cover.
4. Minimize turf areas.
5. Mix in native California plants and well-adapted firewise non-native plants.
6. Retaining walls should be stepped or terraced, and should blend into their surroundings, with height and length kept to a minimum and, where appropriate, a retaining wall should be made of natural boulders or cut stone. Use earth tone colors and native or natural materials such as sandstone for walls. Natural stone walls instead of concrete, brick or slag block should be considered the first choice where a masonry wall is desired. Walls or fences are to have setbacks adequate to allow ample room for bicycle and pedestrian passage. Walls and fences should be incorporated into a landscaping scheme that appears natural and follows the terrain.
7. Chain-link fencing is prohibited.

PLANT PALETTE – **PARKWAY AND HOMEOWNER’S ASSOCIATION**

The following plant palette applies to the landscaping within the Public Right-of-Way or Parkway and to landscaping on property maintained by a homeowner’s association:

**TREES:**

BOTANICAL NAME	COMMON NAME	COMMENTS
ALNUS RHOMBIFOLIA	ALDER	STANDARD/LOW BRANCH
CELTIS X “FOREST PANSY”	EASTERN REDBUD	STANDARD
CINNAMOMUM CAMPHORA	CAMPHOR TREE	STANDARD/MULTI
HETEROMELES ARBUTIFOLIA	TOYON	LOW BRANCH
LAGERSTROEMIA ‘MUSKOGEE’	CRAPE MYRTLE	STANDARD/MULTI
LAGERSTROEMIA “GLENDDORA WHITE”	CRAPE MYRTLE	STANDARD/MULTI - BRANCHED
MAYTENUS BOARIA	MAYTEN TREE	LOW BRANCH
PLATANUS ACERFOLIA	LONDON PLANE TREE	STANDARD ‘BLOODGOOD’ MULTI
PRUNUS CAROLINIANA-COLUMN	LAUREL CHERRY	COLUMN
QUERCUS AGRIFOLIA	COAST LIVE OAK	LOW BRANCH/STANDARD

**VINES:**

BOTANICAL NAME	COMMON NAME
FICUS PUMILA	CREEPING FIG
ROSA ‘ALTISSIMO’	CLIMBING RED ROSE ESPALIER

**GROUND COVERS:**

BOTANICAL NAME	COMMON NAME
BACCHARIS PILULARIS ‘TWIN PEAKS’	DWARF COYOTE BRUSH
FESTUCA OVINA GLAUCA	BLUE FESCUE
HYPERICUM CALYGINUM	ST. JOHN’S WORT
SENECIO SEPEN	LUE CHALKSTICK
PENNISETUM ALOPECUROIDES “LITTLE BUNNY”	DWARF FOUNTAIN GRASS

**TURF:**

BOTANICAL NAME	COMMON NAME
SEA DWARF SEASHORE PASPALUM	SEA DWARF TURF
ALOHA SEASHORE PASPALUM	ALOHA SEASHORE TURF

**SHRUBS:**

**BOTANICAL NAME**

**COMMON NAME**

AGAVE AMERICANA	CENTURY PLANT
ANIGOZANTHOSX BUSH RANGER	DWARF KANGAROO PAW
ARCTOSTAPHYLOS ‘PACIFIC MIST’	MANZANITA
ARMERIA MARTIMA	SEA PINK
CARISSA ‘TUTTLEI’	NATAL PLUM
CAREX BUCHANII	LEATHER LEAF SEDGE
CEANOTHUS ‘YANKEE POINT’	CEANOTHUS
CORDYLINEX “ELECTRIC PINK”	ELECTRIC PINK COUDYLINE
EUONYMUS GRANDIFOLIA	EUONYMUS
HEBE ‘VERONICA LAKE’	HEBE
HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS
JUNIPERUS SABINA ‘BROADMOOR’	BROADMOOR JUNIPER
LAVATERA ASSURGENTIFLORA	TREE MALLOW
LIGUSTRUM TEXANUM	WAX-LEAF PRIVET
LOROPETALUM CHINENSE ‘RAZZLEBERRY’	LOROPETALUM
MAHONIA REPENS	CREEPING MAHONIA
MUHLENBERGIA RIGENS	DEER GRASS
MYRICA CALIFORNICA	PACIFIC WAX MYRTLE
PENSTEMON ‘APPLE BLOSSOM’	PINK BORDER PENSTEMON
PITTOSPORUM TENUIFOLIUM	BLACK STEM PITT.
PYRACANTHA ‘SANTA CRUZ’	PYRACANTHA
RHAPHIOLEPIS ‘PINK LADY’	INDIAN HAWTHORN
ROSA “MOON DANCE”	MOON DANCE WHITE ROSE
SALVIA GREGGII ‘ALBA’	WHITE SALVIA
WESTRINGIA FRUTICOSA ‘SMOKEY’	COAST ROSEMARY
YUCCA WHIPPLEI	OUR LORD’S CANDLE

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# Implementation

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## VII

### A. AUTHORITY & SCOPE

California Government Code Section 65450 authorizes preparation of specific plans to implement a jurisdiction's General Plan. State law provides limited guidance regarding the content and scope of a specific plan, indicating that a specific plan must address the distribution, location, and extent of land use; the infrastructure – both public and private – necessary to support the land use plan; and an implementation plan that includes identification of financing measures. Also, the specific plan must include a statement of the relationship of the specific plan to the general plan. The specific plan may also address any other subjects which decision makers find necessary to desirable to achieve city goals, as stated in the General Plan.

The regulations contained in this Specific Plan apply to all properties within the Specific Plan area. The regulations contained herein take precedence over the zoning regulations contained in Title 21 of the City of Glendora Municipal Code. Following adoption of the Specific Plan by the City Council, all subsequent development within the project area must be consistent with Specific Plan regulations and standards. This includes all local public works projects, tentative maps, and parcel maps (Government Code Section 65455). Where a particular standard is not addressed in this Specific Plan, the regulations of Title 21 shall apply. Applications are to comply precisely with the provisions of this Specific Plan, or be deemed in conformance by means of the Substantial Conformance provisions of the City of Glendora Municipal Code.



## **B. CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)**

Pursuant to local and State CEQA guidelines, the City of Glendora has prepared a Mitigated Negative Declaration. Refer to this the MND for additional details. Mitigations required by the MND have been incorporated into this Specific Plan.

## **C. ENFORCEMENT**

The provisions of the Specific Plan shall generally be enforced through subsequent zoning actions the City must take to approve development in the Specific Plan.. The City will monitor compliance with the Specific Plan.

- During the approval of any CEQA document.
- During the review and approval of subsequent development permits and use permits.
- During the review of working drawings, and prior to the issuance of grading or building permits.
- Prior to the issuance of a Certificate of Occupancy for any building within the specific plan area.
- Prior to the recording of any parcel map or final map within the specific plan boundaries.
- Upon receipt of any written citizen complaint alleging and providing evidence that the Specific Plan requirements or subsequent project approval conditions have been violated. Such written citizen complaints shall be kept anonymous unless disclosure of the complainant is required for court action against the violating party.

## **D. AMENDMENTS**

In accordance with the California Government Code Section 65450 (et. seq.), specific plans shall be prepared, adopted, and amended in the same manner as general plans, except that specific plans may be adopted

by resolution or by ordinance. The Specific Plan may be amended, as necessary, in the same manner that it was adopted, pursuant to Section 21.06.060 (E) of the Glendora Municipal Code. Said amendment shall not require a concurrent general plan amendment unless it is determined by the City that the proposed amendment would substantively affect the City of Glendora General Plan goals, objectives, policies, or programs for the Specific Plan area. Any Specific Plan Amendment application shall be subject to review as required by the California Environmental Quality Act.

**E. CITRUS AVENUE**

General Plan: Citrus Avenue in the 1991-2010 General Plan is classified as an arterial roadway between Foothill Boulevard and Sierra Madre Avenue. Specific Plan: Citrus Avenue will terminate at Monrovia Place (approximately at the Azusa/Glendora municipal boundary line) and will not continue north to Sierra Madre Avenue. In accordance with City of Glendora General Plan policy, no street connections will be maintained.

## F. SUBSTANTIAL CONFORMANCE

The purpose of substantial conformance is to provide an administrative mechanism which allows for the implementation of the specific plan and development of the site pursuant in accordance with the provisions of the Monrovia Nursery Specific Plan, adopted project mitigation measures, and conditions of approval that may apply (such as through an approved tentative tract map). Substantial conformance allows the City to approve plans and issue necessary permits for proposed infrastructure and site improvement plans that implement the Specific Plan as well as approve non-substantial modifications to the approved site plan which do not modify the effect of the approval on surrounding property. Development plans and applications which may be approved under the substantial conformance provisions include, but are not limited to the following, when consistent with the approved specific plan:

- Accessory buildings and uses such as cabanas, carports, garages, and patios;
- Changes in exterior building materials;
- Grading and drainage plans resulting in not more than a one-foot increase over building pad elevations depicted in the Specific Plan grading exhibit for the following lots in the Specific Plan – North: All lots.
- Grading and drainage plans resulting in not more than a one-foot increase over building pad elevations depicted in the Specific Plan grading exhibit for the following lots in the Specific Plan – South: 1 through 6, 9 through 23, 33, 45, 46, and 60. Grading and drainage plans for all other lots will be deemed to be in substantial conformance if building pad elevations are within five feet of the Specific Plan grading exhibit.
- One-story single family residences;
- Lot Line Adjustments which result in the sale or transfer of “lettered lots”;
- Project infrastructure plans such as water, sewer, SUSMP and storm drain;
- Public and private landscaping plans;
- Roof-mounted solar panel installations;
- Second Kitchen Unit construction;



- Swimming pools and spas;
- Walls and fences;
- Substantial Conformance approval shall not apply to any of the activities listed below but instead shall be subject to the specified review process:
- Amendments to the specific plan, and any modifications that propose to alter components of the approved Master Plan, including but not limited to the following:
  1. Modifications in the basic design and layout of the project;
  2. Increase or decrease in the number of lots;
  3. Changes in the specific plan grading design which exceed the limits described above.
  4. Changes which result in an increase in the magnitude of environmental impacts not analyzed in project environmental documents.

**Subject to an amendment of the specific plan provided for by Section 21.06.060.**

- Approval of Parcel Maps or Tract Maps;
- Subject to Title 20 of the Glendora Municipal Code.
- Construction of two-story single-family residences;
- Subject to the filing and approval of a Development Plan Review application as specific by Section 21.02.040 of the Glendora Municipal Code.
- Approval of Minor Modifications as defined by Section 21.02.035 of the Zoning Code.

**Subject to the filing and approval of a Minor Modification application as specific by Section 21.02.035 of the Glendora Municipal Code.**

**Determination of Substantial Conformance**

Substantial Conformance means that any proposed activity, construction and development complies with the Monrovia Nursery Specific Plan, adopted mitigation measures, and project conditions of approval, where no additional units (except second-kitchen units), property, or parcels

beyond that provided by the Specific Plan or approved map are involved, approved minimum lot sizes are maintained, proposed construction is consistent with the architectural guidelines provided in the Specific Plan, no grading beyond Substantial Conformance limits is proposed, and no significant environmental impact is created. The Directors of Public Works and Department of Planning and Redevelopment or their designees shall make a determination of substantial conformance prior to the issuance of any permits or approval of plans. No written determination is required provided that plans submitted to the City for approval exhibit substantial conformance with the Monrovia Nursery Specific Plan. Plans found not to be in substantial conformance shall not be approved.

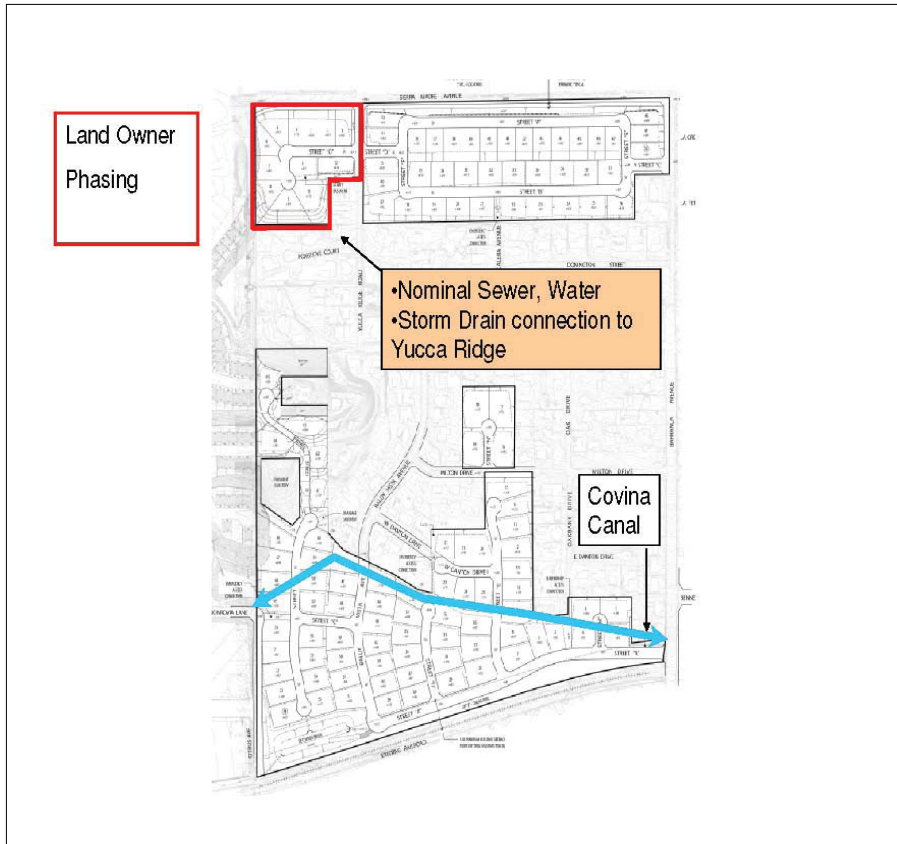
#### **Approval of Plans and Permits Found to Be Under Substantial Conformance**

For building permits and improvements plans found to be in substantial conformance with the Monrovia Nursery Specific Plan and any other subsequent discretionary zoning approvals granted by the City, including the project's environmental review, the City shall issue requested permits or other necessary documentation required to exhibit the City's approval. The City may withhold the approval of any permit where an applicant has not obtained the approval of other agencies required by law or other authority to review and approve proposed development plans.

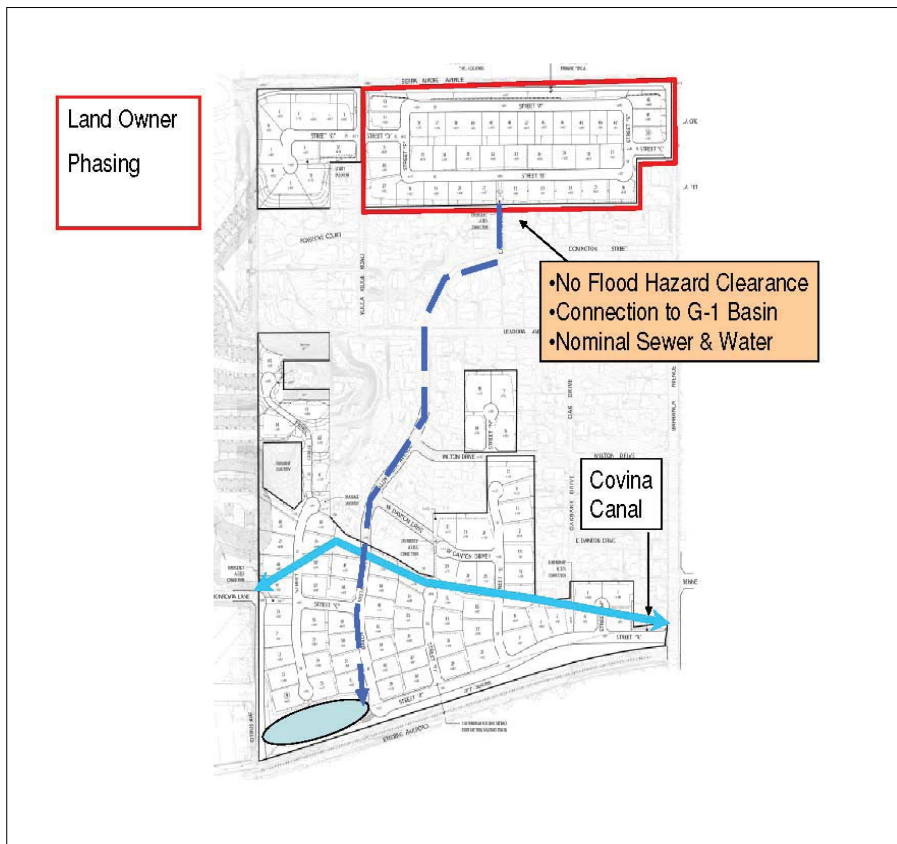
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■ PHASING PLAN - LAND OWNER PHASING

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## **G. PHASING PLAN**

The Specific Plan is divided into two proposed subdivisions, Specific Plan – North (hereinafter “North”) and Specific Plan – South (hereinafter “South”). The North is bounded by Sierra Madre Avenue on the north, Barranca Avenue on the east, and existing residences on the south and west. The South is bounded by the existing Burlington Northern Santa Fe Railroad on the south, Barranca Avenue on the east and existing residences on the north and west.

In general, the overall Specific Plan slopes from north to south. Because of this characteristic, storm water drainage and a sewer system will gravity flow in the same direction. As described within the drainage and sewer sections of this report, these system’s downstream outlets/connection points are found at the southwest corner of the South subdivision.

As discussed within the grading section of this report, both subdivisions have been preliminary designed to balance separately and independently. However, depending on which subdivision is constructed first will determine the extent of what utilities are needed within that phase. The following phasing sequence is recommended due to the recognized potential cost savings relative to the installation of water, sewer, and drainage systems.

### **Phase 1 – Specific Plan South**

As mentioned above, the preliminary grading design of the overall Specific Plan has each subdivision balancing on it’s own. Currently no additional grading is anticipated.

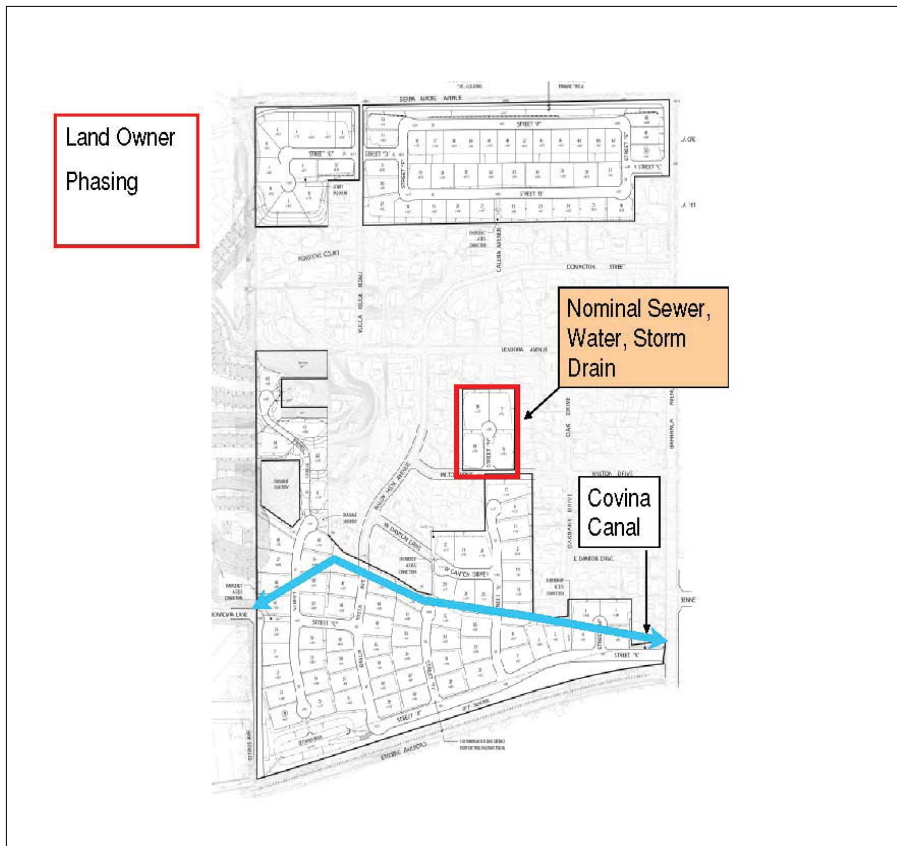
The detention basin that serves both the South and North is located in the southwest corner of the South subdivision. The ultimate basin design is proposed with the grading of this subdivision. Since the South is at the southern end of the defined watershed, no additional off site storm drain improvements are anticipated at this time. Refer to the drainage section of this report for more details.

In regards to the water system, there are existing waterlines surrounding the site. Therefore, a loop system within this subdivision can be accomplished. This system and connections to the existing lines must follow the City of Glendora standards. A water net analysis may be required for this project, which may require upsizing of water mains, this is unknown at this time.

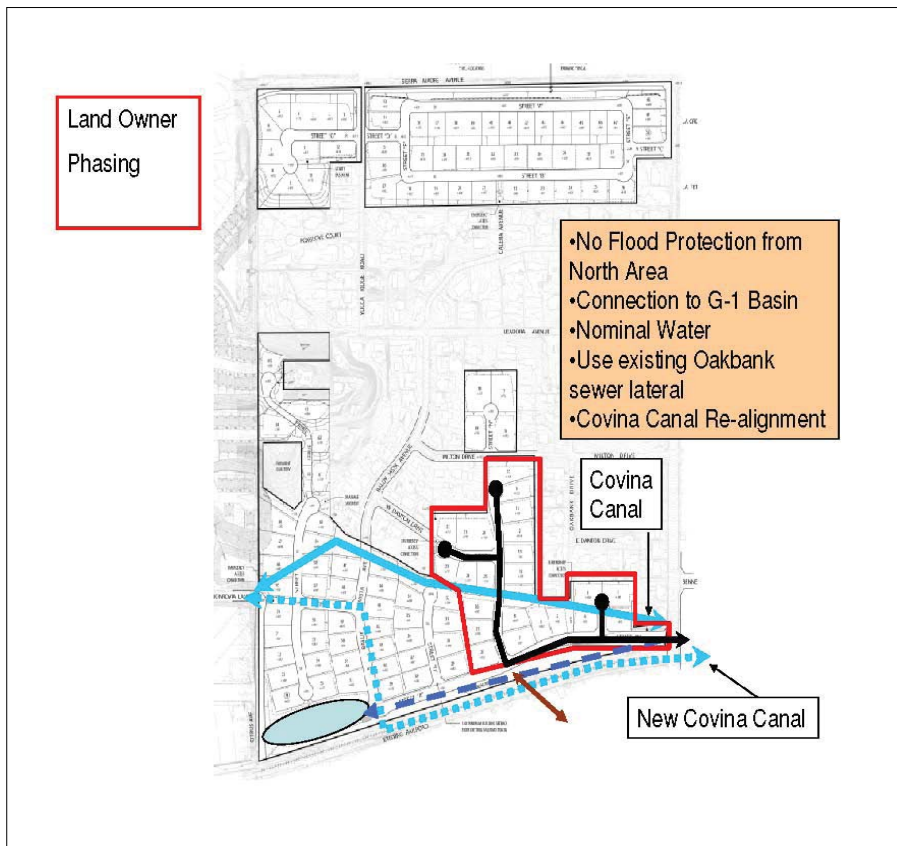
The offsite section of sewer from the tie in to the existing line in Foothill Boulevard then northerly under the BNSF existing railroad to this subdivision is required. No other offsite sewer requirements are known at this time. Refer to the sewer section for more details on the proposed sewer layout.

■ PHASING PLAN - LAND OWNER PHASING

3



4



## Phase 2 – Specific Plan North

As mentioned previously, both subdivisions have been preliminarily designed such that each can be graded to balance separately and independently. However, the North being upstream of the South will require its storm water to be drained into the South subdivision for detention purposes. The grading of this basin would be required at that time to protect the downstream properties from the subdivisions storm water.

The detention basin proposed in the southwest corner of the South is designed to serve both subdivisions. At this time, a temporary basin could be designed in a location within the South that could reduce the amount of storm drain required for North subdivision. Since there is not a sufficient storm drain system in the existing streets south of the North, a requirement will be made to construct an offsite storm drain system from the subdivision down existing Baldy Vista Avenue to the detention basin. Refer to the drainage section for more details on the required storm drain system.

As shown on the water exhibit, there are existing waterlines surrounding the North in Sierra Madre Avenue, Barranca Avenue, and Yucca Ridge Road that will allow for a loop water system to be constructed. This system and connections must meet the City of Glendora standards. Refer to the water section for more details. A water net analysis may be required for this project, which may require upsizing of water mains, but this is unknown at this time.

The sewer system for the North is proposed to sewer to the south through the South subdivision, under the existing Burlington Northern Santa Fe Railroad, and tie into the existing sewer system in Foothill Boulevard as described in the sewer plan section of this report. There are existing sewer mains within the local roads between the two proposed subdivisions. However, with the construction of the North as Phase 1, this would require additional construction of sewer in the area of the South. Primarily, from the connection point of the existing sewer in Street E south to Street A and westerly to the location where the sewer will outfall under the existing Burlington Northern Santa Fe Railroad to Foothill Boulevard.

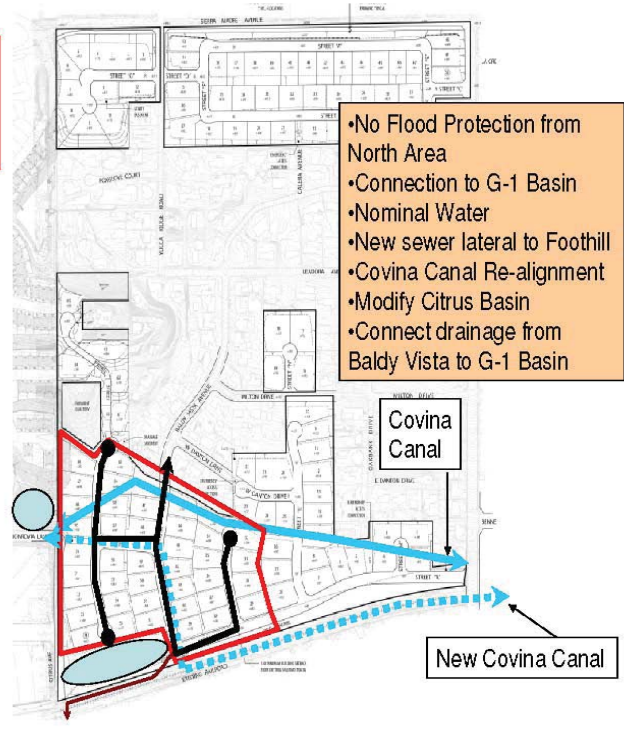
All improvements discussed above are preliminary and actual requirements for onsite and offsite improvements may change upon review by the city and other agencies. All proposed improvements must follow the city and governing agency standards.

The phasing of the Specific Plan can be accomplished by starting with either of the two subdivisions. Depending on which area proceeds the other will determine the specific requirements for the construction of the utilities within each subdivision. It should be noted that developing the entire Specific Plan as one single phase remains as a viable option.

■ PHASING PLAN - LAND OWNER PHASING

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Land Owner Phasing



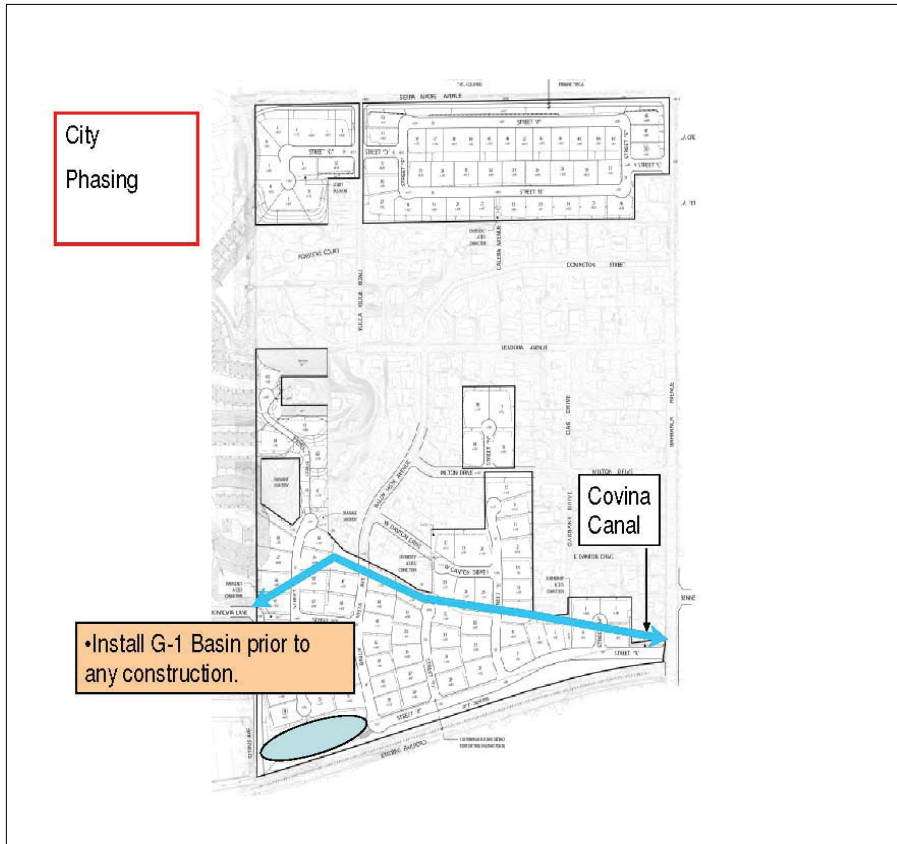
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Land Owner Phasing

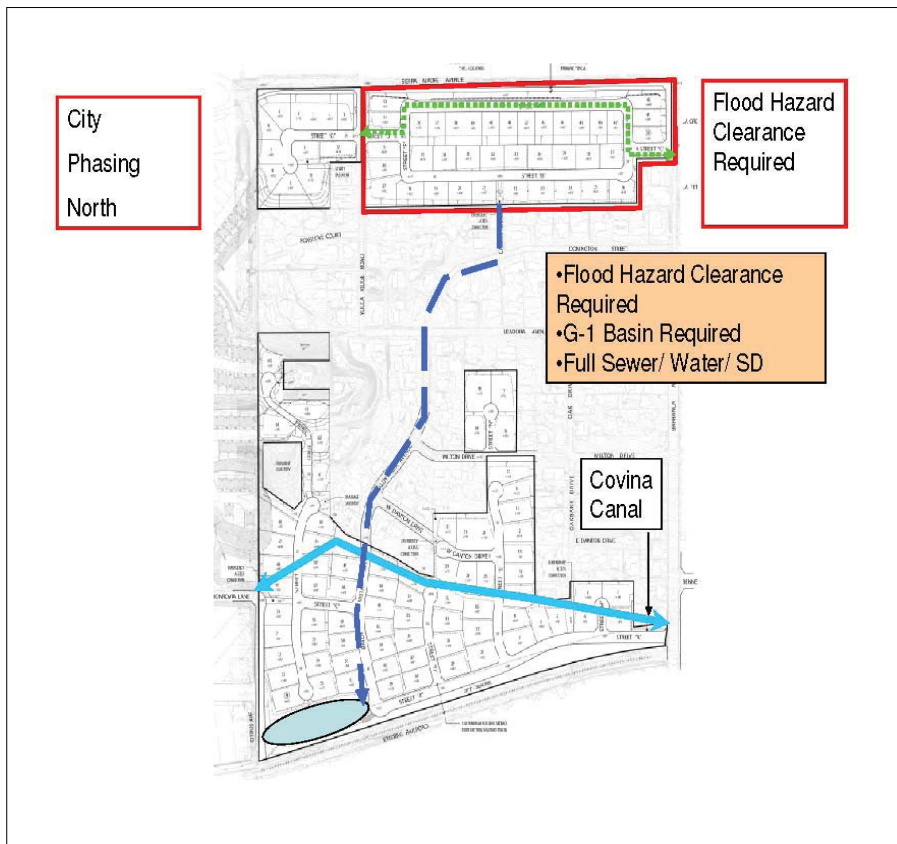




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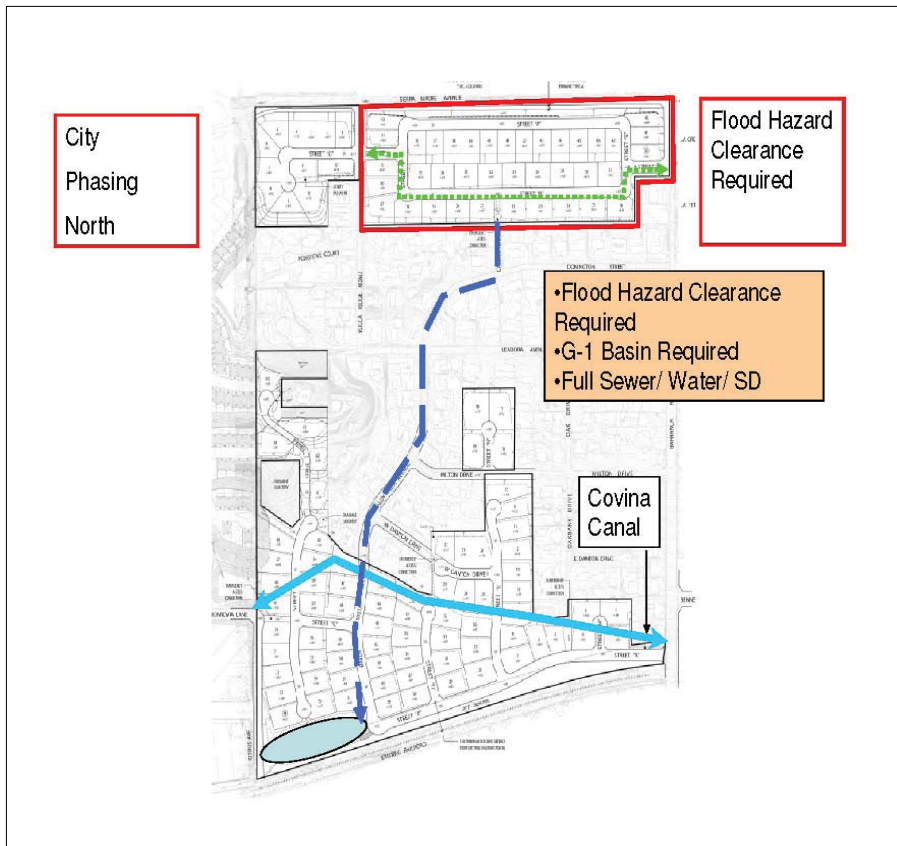


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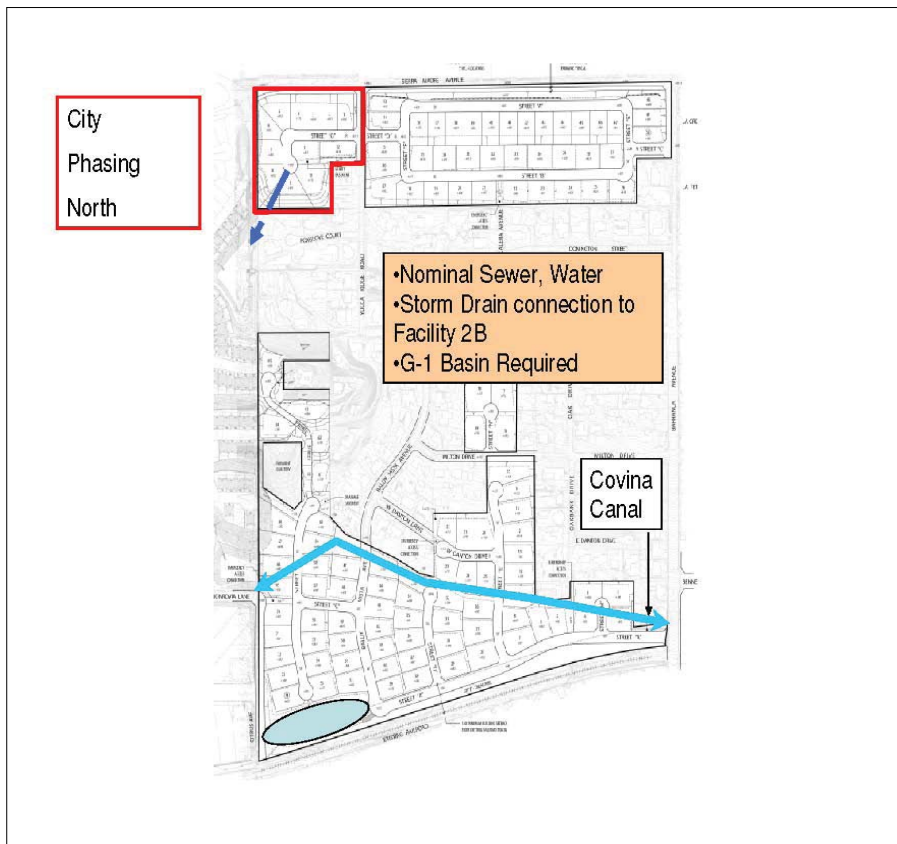


■ PHASING PLAN - CITY PHASING

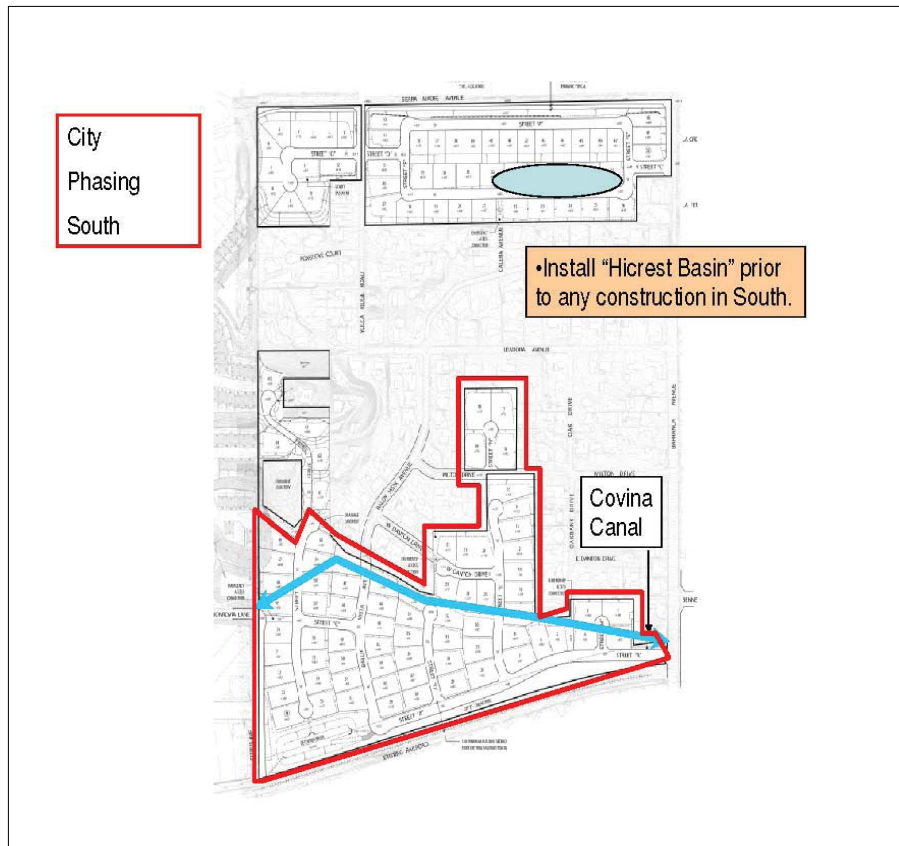
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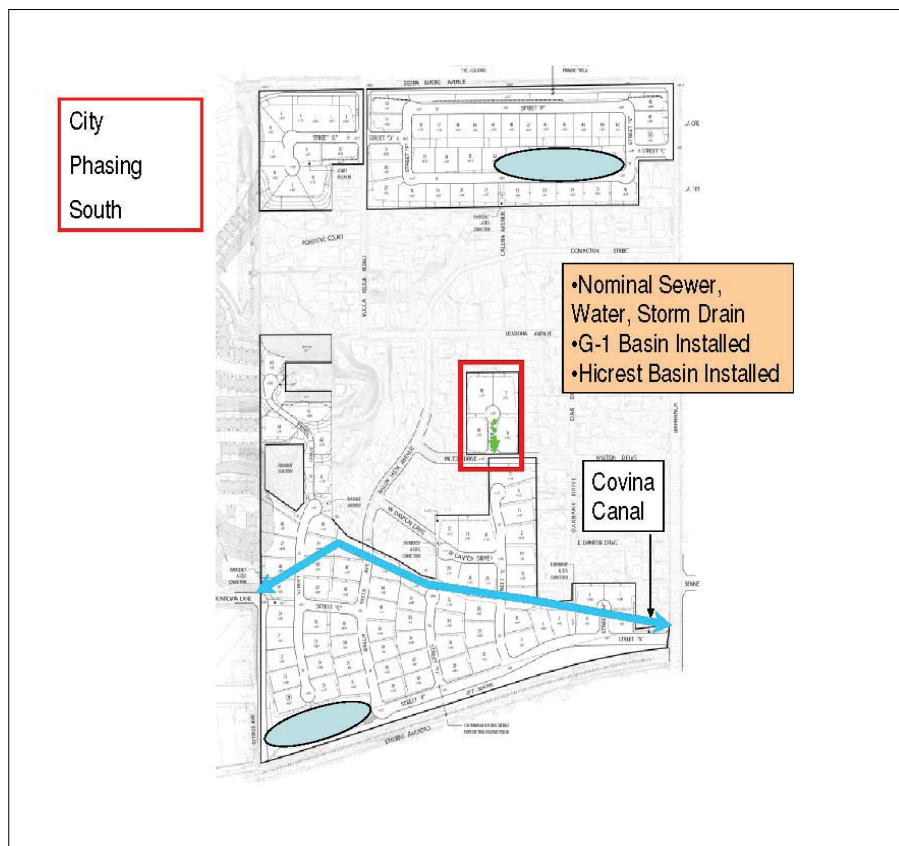
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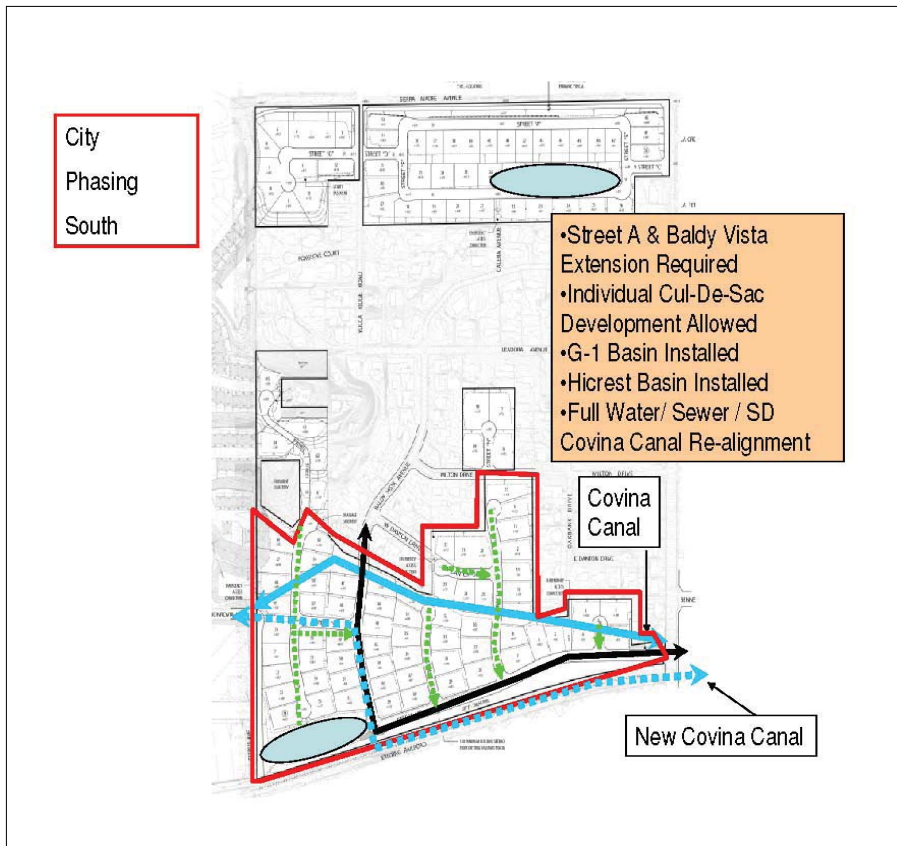


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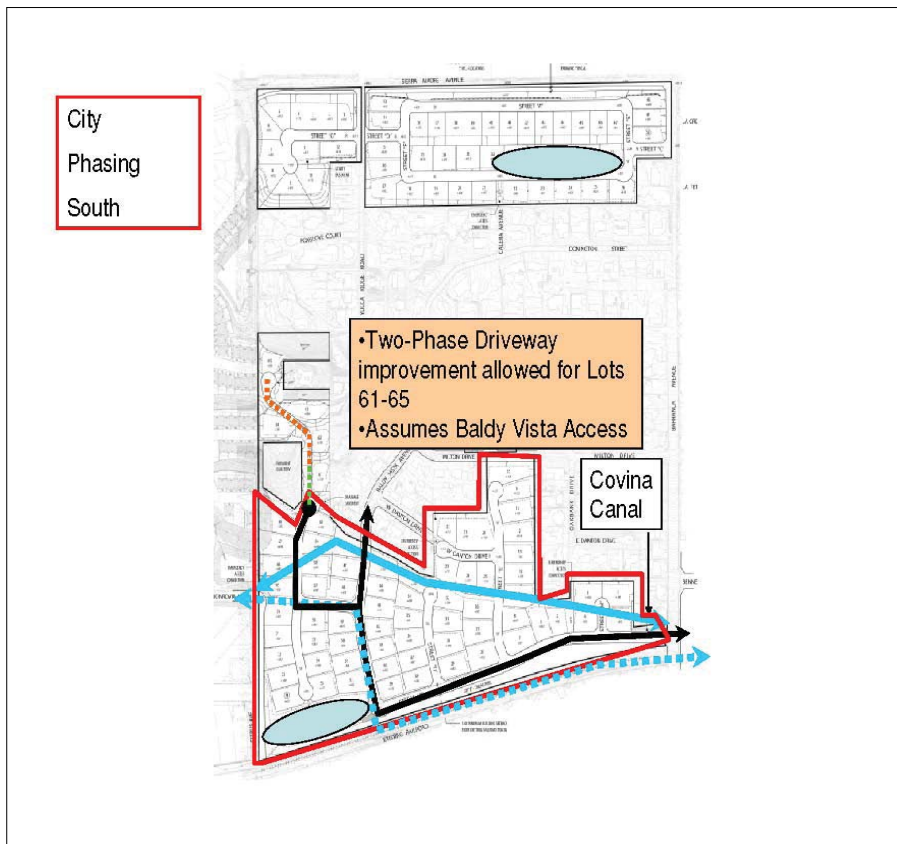


■ PHASING PLAN - CITY PHASING

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# Appendices **APX**

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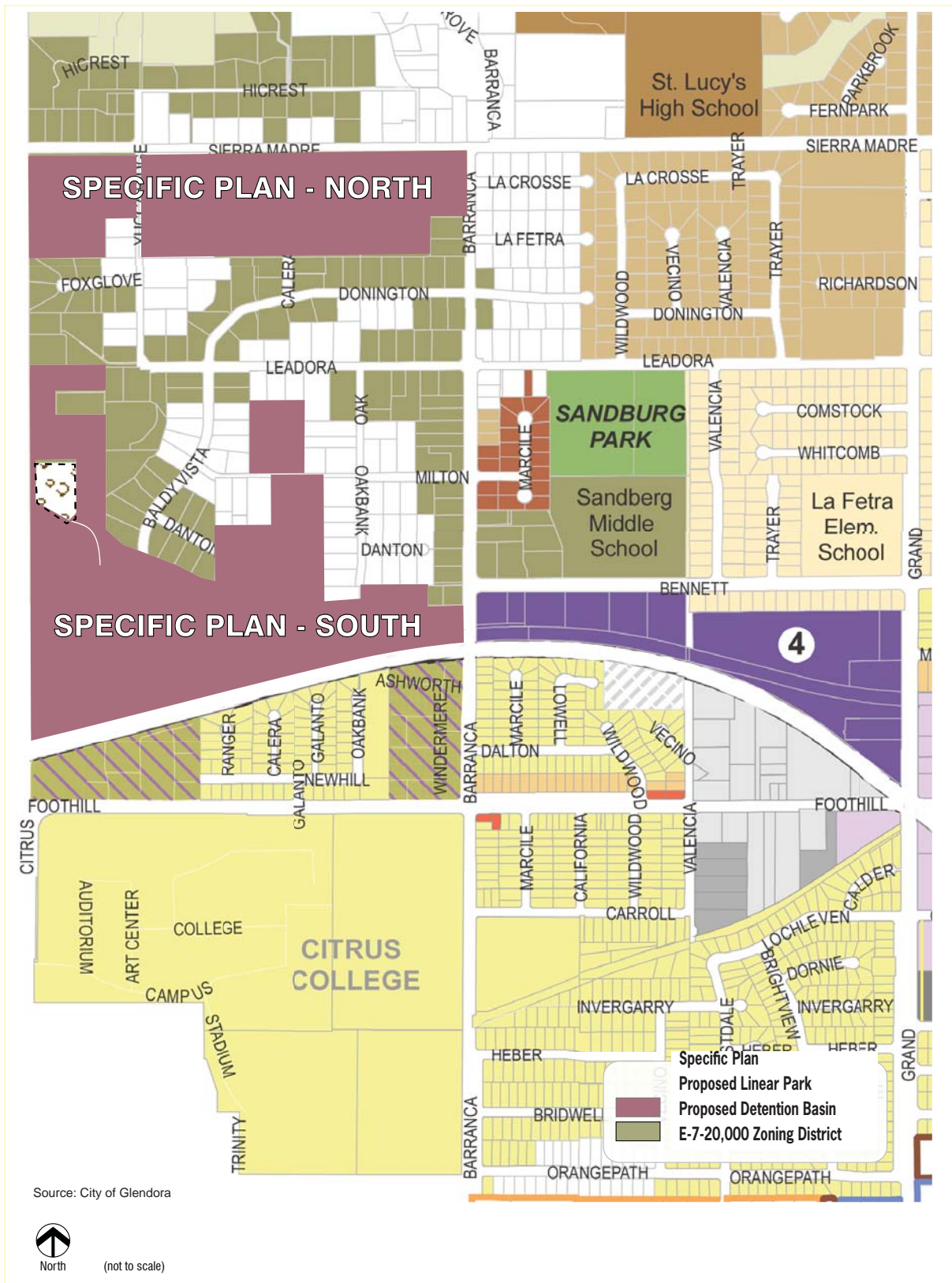
Appendix 1  

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General Plan Compliance

# APX 1

■ EXISTING ZONING & GENERAL PLAN DESIGNATIONS





## **GENERAL PLAN COMPLIANCE**

This Specific Plan is in compliance with the City of Glendora General Plan, and in fact carries forth several key Goals and Objectives of the General Plan.

### ■ **LAND USE ELEMENT**

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#### **City of Glendora General Plan Land Use Element Goals:**

*Planning Consideration: Future land use planning should acknowledge the need to improve the distribution of land uses citywide, and that balanced and equal access to opportunities for all residents are considered. The existing distribution of land uses provide a challenge to establishing an equitable distribution of land uses citywide. Currently, the 210 Freeway creates a physical and functional barrier between the northern and southern portions of the City.*

**GOAL 1:** *Balanced open space, residential and commercial development citywide.*

- *LU-1.1 Establish an equitable distribution of commercial and employment opportunities between the northern and the southern portions of the City.*
- *LU-1.2 Evaluate the potential for the future development South Hills as a mixture of open space, residential and commercial uses.*
- *LU-1.3 Consider opportunities for open space acquisition.*
- *LU-1.4 Establish open space conservation areas and identify compatible uses such as natural resource conservation, hiking and passive recreation.*
- *LU-1.5 Consolidate hillside residential land uses into one land use designation and implementing zone.*

**GOAL 2:** *Equitable geographic distribution of land uses.*

- *LU-2.1 Ensure the coordination of economic development, redevelopment and land use planning.*

#### **LAND USE BALANCE - MIX OF LAND USES**

*Planning Consideration: The City of Glendora is a predominantly residential community. Future land use planning should consider the development of a more balanced land use pattern, including a complimentary mix of retail, commercial, residential and entertainment uses.*

**GOAL 3:** *Integrated mixed use development.*

- *LU-3.1 Establish development standards and design guidelines for mixed use development in the city's primary activity nodes.*
- *LU-3.2 Encourage the development of mixed use through flexible land use regulations*
- *LU-3.3 Encourage the development of infill residential development within mixed use projects.*

**GOAL 4:** *Integrated commercial and residential development.*

- LU-4.1 *Provide for increased densities and mixed use development standards to encourage the expansion of residential development opportunities within the Village.*
- LU-4.2 *Provide for expanded infill residential opportunities in appropriately designated areas in the City.*

**GOAL 5:** *Expanded residential development opportunities.*

- LU-5.1 *Provide for increased densities and mixed use development standards to encourage the expansion of residential development opportunities within the Village.*
- LU-5.2 *Provide for expanded infill residential opportunities in appropriately designated areas in the City.*

**LAND USE BALANCE - HOUSING OPPORTUNITIES**

*Planning Consideration: Limited ownership and rental housing opportunities for a variety of income levels exist within the City. A diverse inventory of housing opportunities should afford first-time home buyers, elderly, and low-to moderate-income residents an opportunity to live in Glendora. The establishment of a broader range of housing densities that support the expansion of housing opportunities throughout the City should be a consideration in future land use decisions.*

**GOAL 6:** *Expanded opportunities for affordable housing.*

- LU-6.1 *Establish regulatory mechanisms and incentives for the development of quality affordable housing opportunities.*
- LU-6.2 *Encourage land use planning that provides for affordable housing development through the implementation of the City of Glendora Housing Element of the General Plan.*

**GOAL 7:** *A diverse range of housing choices.*

- LU-7.1 *Provide opportunities for the development of housing at variety of affordability levels and densities that respond to the various needs of future residents.*

**LAND USE BALANCE - EMPLOYMENT NODES**

*Planning Consideration: The City envisions a healthy mix of centralized employment generating land use mix, arranged in several nodes throughout the community that support a diverse and stable employment base. The City's current land use patterns within existing commercial corridors do not maximize opportunities in creating strong nodes of employment.*

**GOAL 8:** *Expansion of employment-generating land uses.*

- LU-8.1 *Expand employment generating land use land uses along the Route 66 corridor.*
- LU-8.2 *Evaluate the potential for development of portions of the South Hills area for commercial development.*
- LU-8.3 *Consider land use policy modifications along the Arrow Highway corridor to enhance retail, commercial and other employment uses.*

- *LU-8.4 Encourage the development of the Grand Avenue corridor for employment generating land uses, including a mixture of retail, office and professional uses.*

**GOAL 9:** *Attraction of high tech businesses and industry.*

- *LU-9.1 Provide for flexible land use development regulations and standards that provide for the specialized facilities needs of high technology business and industry.*
- *LU-9.2 Establish an economic development marketing plan for the attraction of high tech industry.*
- *LU-9.3 Ensure the City of Glendora periodically evaluates the specific development requirements of high tech businesses.*

**VACANT AND UNDERUTILIZED LAND**

*Planning Consideration: The City of Glendora's relatively built-out nature requires a comprehensive strategy for the utilization of limited vacant and underutilized parcels. Redevelopment and reuse of these sites should consider such factors as the compatibility with adjacent uses, design quality, density/intensity and rehabilitation.*

**GOAL 10:** *Quality infill development.*

- *LU-10.1 Ensure the design and development of infill projects compliments existing development in terms of scale, character, and pedestrian quality.*
- *LU-10.2 Encourage the development of viable infill development within the Route 66 Corridor through the assembly of parcels.*
- *LU-10.3 Evaluate the potential for developing a Specific Plan for the Arrow Highway Corridor to maximize infill development opportunities.*
- *LU-10.4 Provide for a thorough evaluation of vacant and underutilized sites within the City of Glendora, including South Hills, **Monrovia Nursery**, San Jose Park, and the Rainbird property.*

**GOAL 11:** *Rehabilitation and enhancement of existing land uses.*

- *LU-11.1 Identify regulatory mechanisms that encourage redevelopment and improvement of existing properties, including:*
  1. *Development incentives/bonuses*
  2. *Redevelopment agency participation*
  3. *Façade rehabilitation programs*
  4. *Code enforcement*
- *LU-11.2 Provide for a comprehensive review of all City-owned property to determine redevelopment potential.*
- *LU-11.3 Evaluate development standards for South Grand Avenue and Foothill Boulevard and revise standards, encourage revitalization, intensification and density.*
- *LU-11.4 Ensure that the evaluation of redevelopment and enhancement of existing land uses considers the preservation of open space and natural resources, including hillside areas.*

#### *PRESERVATION OF NEIGHBORHOOD CHARACTER*

*Planning Consideration: The City of Glendora considers the preservation of neighborhood character a primary means in preserving the character of the community as a whole. The City's existing neighborhoods are well-established and provide a character and quality that reflect the stability of the community's residents. Land use planning should consider the preservation of neighborhood character in terms of design, scale and extent of development and infrastructure.*

#### **GOAL 12:** *P reservation of existing historic neighborhoods.*

- *LU-12.1 Provide for regulatory policies, design guidelines and other methods that promote the preservation of historic neighborhoods and established single-family residential areas.*
- *LU-12.2 Encourage the restoration and rehabilitation of historic resources.*
- *LU-12.3 Increase the level of public education regarding Glendora's historic resources.*
- *LU-12.4 Introduce provisions within the City's Municipal Code that would enhance and protect historically significant neighborhoods.*
- *LU-12.5 Encourage the creation of neighborhood groups and associations for the purpose of neighborhood preservation and enhancement.*
- *LU-12.6 Ensure that rehabilitation efforts preserve the historical integrity of the original structure.*
- *LU-12.7 Develop design guidelines to preserve neighborhood character and control mansions.*

#### **GOAL 13:** *Clearly defined strategies for neighborhood preservation and enhancement.*

- *LU-13.1 Provide specific policies that maintain uniform setbacks, yard areas and building separations to preserve the integrity of neighborhoods.*
- *LU-13.2 Establish criteria to identify and/or create neighborhood districts.*
- *LU-13.3 Encourage the participation of residents in the creation of neighborhood preservation and enhancement strategies.*
- *LU-13.4 Strengthen code enforcement activities within neighborhoods to ensure existing regulations are properly enforced.*
- *LU-13.5 Evaluate the potential for reducing width of residential streets, providing wider parkways, increasing landscaping and street trees and integrating open space and trails in existing neighborhoods.*
- *LU-13.6 Evaluate the appropriateness of physical improvement that would increase the level of pedestrian amenities in neighborhoods.*

#### *COMMUNITY DESIGN AND CHARACTER - SCALE AND CHARACTER*

*Planning Consideration: Land use planning should consider the scale and character of development and redevelopment to provide a positive contribution in the future to the physical quality of the City. The scale and character of development and redevelopment should be considered within the context of each neighborhood so that existing land use character is not diminished.*



**GOAL 18:** *Compatibility of adjacent land uses.*

- LU-18.1 *Ensure the preservation of a scale and character of development is sensitive to adjoining uses.*
- LU-18.2 *Utilize design review to determine the appropriateness of new development prior to approval.*
- LU-18.3 *Encourage land uses that are complimentary in form and function with existing development.*

**GOAL 19:** *Abatement of incompatible uses.*

- LU-19.1 *Enforce land use regulations related to non-conforming land uses.*

**GOAL 20:** *Appropriate scale and character of development.*

- LU-20.1 *Ensure development is designed with a compatible scale.*
- LU-20.2 *Establish guidelines to provide design direction that encourages pedestrian activity at the street frontage.*
- LU-20.3 *Encourage the development of usable pedestrian space within future developments, including urban plazas, pocket parks and other pedestrian amenities.*
- LU-20.4 *Encourage the expansion of street trees to improve the pedestrian scale and character of future development.*
- LU-20.5 *Encourage the development of pedestrian-friendly development through properly scaled design and amenities.*
- LU-20.6 *Utilize design guidelines and development standards to ensure walls and fences provide quality design and landscape treatment.*

**GOAL 21:** *Preservation of neighborhood character.*

- LU-21.1 *Establish design guidelines and development regulations that enhance neighborhood quality.*
- LU-21.2 *Investigate the use of traffic calming measures in existing neighborhoods to reduce speeding and traffic-related hazards.*
- LU-21.3 *In neighborhoods with long blocks, investigate the potential for the provision of meandering streets to reduce traffic speed and improve pedestrian quality.*
- LU-21.4 *Investigate the potential for identifying unique neighborhoods where streets could be closed and redeveloped into a system of greenbelts (i.e., neighborhoods with alley access).*

**Planning Consideration:** *The creation and preservation of well-defined community “character” is a primary community goal. Land use planning should acknowledge those community attributes that define Glendora’s character including historic resources, civic facilities, established neighborhoods, natural resources and other distinctive community features.*

**GOAL 22:** *Preservation of important community attributes.*

- LU-22.1 *Encourage the adaptive reuse of facilities and structures to preserve important community attributes.*
- LU-22.2 *Establish programs that identify important community attributes that should be preserved.*

- *LU-22.3 Educate the local residents on the subject of community preservation to help define those important community attributes.*

**GOAL 23:** *Distinctive neighborhood identities.*

- *LU-23.1 Identify transition areas that buffer residential development from nonresidential uses through the incorporation of landscaping, open space and other design features.*
- *LU-23.2 Encourage the development of distinctive features that further define Glendora's residential neighborhoods.*

**TOPIC: REGIONAL CONTEXT**

*Planning Consideration: The City of Glendora is a part of a larger region. The land use policies adopted by the City of Glendora have an effect on and can benefit from adjacent cities and the region. Therefore, land use planning should consider the regional and subregional context to ensure land use, economic and environmental factors provide a positive contribution to and optimally benefit from adjacent communities and the region.*

**GOAL 24:** *Coordinated infrastructure development with land use planning.*

- *LU-24.1 Ensure the City of Glendora makes diligent efforts in coordinating with adjacent jurisdictions for projects that may have an impact on Glendora's traffic, infrastructure, water quality or other interjurisdictional topics.*
- *LU-24.2 Ensure adjacent jurisdictions and other applicable agencies are properly informed on all land use and planning decisions that may be affected by development projects within Glendora.*
- *LU-24.3 Provide sufficient analysis of potential infrastructure impacts associated future development and the potential impacts on adjacent jurisdictions.*

**GOAL 25:** *Coordinate job creation and attraction in the San Gabriel Valley.*

- *LU-25.1 Encourage regional cooperation in attracting new employment and industry with the San Gabriel Valley and Los Angeles region.*
- *LU-25.2 Encourage efforts at addressing the jobs/housing balance within the City and the region.*
- *LU-25.3 Ensure the City of Glendora's interests are adequately represented in a regionally significant planning efforts.*

**Specific Plan Consistency with the Land Use Element**

- The Specific Plan provides for new residential development that will complement and enhance the surrounding neighborhood.
- To complement adjacent residential neighborhoods, the Specific Plan proposes homesites consisting of homes with a minimum lot size of 20,000 square feet, comparable with the sizes of the adjacent residential uses.
- The General Plan Land Use designation for the neighborhood area is Low Density, which allows for development of large, single-family lots. This designation will remain unchanged.

- To reduce privacy impact on the existing neighborhood, the Specific Plan will limit new development directly adjacent to some existing residences to a single-story home.
- New houses will consist of detached, single-family homes that exemplify quality design, contemporary sustainable practices, firewise construction, energy efficiency engineering, and water conserving landscaping. Building mass and form will create a positive relationship with adjacent homes.
- Central to all new development is a landscape plan that incorporates contemporary sustainable landscape design befitting the character and setting of the community.
- Road improvements provide access to new residential development within the Specific Plan Area and provide greater emergency access for the existing residences.
- The Specific Plan augments existing connections to surrounding neighborhoods by providing access to new development mindful of the safety and quality of surrounding residential neighborhoods. The new circulation network which does not extend into Azusa or south of the railroad, avoids cut-through traffic. Road improvements along Milton Drive, Sierra Madre Avenue, and Yucca Ride Road will improve road conditions while enhancing walkability of these streets.
- Improvements to Sierra Madre Avenue include widening and sidewalks and create a safer, more calm roadway for drivers and pedestrians.
- The architecture in the Specific Plan de-emphasizes the garage. Each Specific Plan street has parkway-separated sidewalks with street trees. The living portions of the homes are placed toward the street, many will have outdoor living space such as porches, stoops, and balconies on the street elevation.
- Garages are pushed back from the street and de-emphasized so that each home has a recognizable front entrance. This architectural design encourages neighborhood interaction, a pedestrian lifestyle, and promotes safety by allowing for “eyes on the street.”
- A Homeowner’s Association (HOA) will govern the new development in the Specific Plan by enforcing specific codes and covenants designed to promote community consistency, maintenance, and value.
- The Specific Plan increases opportunities to enjoy passive recreation by incorporating linear parkways, trails, and stretches of open space into roadway improvements and site layouts.
- The Specific Plan provides public open space. Detention basins present a sustainable method of detaining excess stormwater. The Specific Plan also includes trails connections throughout the Specific Plan area and linear parkways that connect to the adjacent neighborhood.
- The Specific Plan minimizes impacts on the City’s public services and infrastructure.
- From the initial stages of planning, Specific Plan designers studied infrastructure impacts and spent extensive planning on street, water, and sewer improvements. The plan improves or maintains existing infrastructure to provide public services to new residents.
- The Specific Plan provides on-site and off-site drainage improvements, not only to improve the drainage on the Specific Plan site, but they extend into the surrounding area. The improvements include on-site and off-site storm drains, a large drainage basin, and water quality facilities.
- The Specific Plan will include improvements to the street system, water system, and sewer system.

**City of Glendora Housing Element Goals:**

*1. Conserve and Improve the Condition of the Existing Affordable Housing Stock Housing and neighborhood conservation are important to maintaining and improving quality of life. While the majority of housing in Glendora is in good condition, some of the older housing units show signs of deterioration. Efforts to improve and revitalize housing must address existing conditions, but also focus on encouraging preventive efforts to ensure that housing stock quality is maintained. The policies listed below address the issue of housing and neighborhood conservation.*

**GOAL 1:** Assure the quality, safety, and habitability of existing housing and the continued high quality of residential neighborhoods.

Policy 1.1 Continue to monitor and enforce building and property maintenance codes in residential neighborhoods.

Policy 1.2 Continue to provide City services designed to maintain the quality of the housing stock and the neighborhoods.

Policy 1.3 Continue to promote the repair, revitalization, and rehabilitation of residential structures that have fallen into disrepair.

Policy 1.4 Support the preservation and maintenance of historically and architecturally significant buildings and neighborhoods.

Policy 1.5 Preserve the unique environmental aspects of the community, including hillsides, canyons, and other environmental amenities.

*2. Assist in the Development of Housing for Lower and Moderate Income Households Providing affordable housing is essential for a healthy community. In addition to a diverse mix of housing types, it is necessary to make available housing for residents of all income levels. Seeking funding from varied sources increases the opportunities for development of affordable housing units. The City actively works with both non-profit and for-profit developers in the production of affordable for-sale and rental housing.*

**GOAL 2:** Assist in the provision of housing that meet the needs of economic segments of the community.

Policy 2.1 Facilitate homeownership opportunities for low and moderate income households.

Policy 2.2 Use density bonuses and other incentives to facilitate the development of new housing for extremely low, very low, and low income households.

Policy 2.3 Create collaborative partnerships with non-profit agencies and for-profit developers to maximize resources available for the provision of housing affordable to lower income households.

Policy 2.4 Address the housing needs of special populations and extremely low income households through emergency shelters, transitional housing, supportive housing, and single-room occupancy units.



Policy 2.5 Promote the use of energy conservation features in the design of residential development to conserve natural resources and lower energy costs.

*3. Identify Adequate Sites to Accommodate a Variety of Housing for All Income Levels A major element in meeting the housing needs of all segments of the community is the provision of adequate sites of all types, sizes and prices of housing. Persons and households of different ages, types, incomes, and lifestyles have a variety of housing needs and preferences that evolve over time and in response to changing life circumstances. Providing an adequate supply and diversity of housing accommodates changing housing needs of residents. The Glendora General Plan and Zoning Ordinance establish where housing may locate. To provide adequate housing and maximize use of limited land resources, new development should be constructed at appropriate densities that maximize the intended use of the land.*

**GOAL 3:** Provide suitable sites for housing development which can accommodate a range of housing by type, size, location, price, and tenure.

Policy 3.1 Implement land use policies that allow for a range of residential densities and products, including low-density single-family uses, moderate-density townhomes, and higher-density apartments, condominiums, and units in mixed-use development.

Policy 3.2 Encourage development of residential uses in strategic proximity to employment, recreational facilities, schools, neighborhood commercial areas, and transportation routes.

Policy 3.3 Encourage compatible residential development in areas with recyclable or underutilized land.

Policy 3.4 Maintain development standards, regulations and design features which encourage a variety of housing types appropriate for the neighborhoods in which they are located.

*4. Address and Remove Governmental Constraints to the Maintenance, Improvement, and Development of Housing Market factors and government regulations can significantly impact the production and affordability of housing. Although market conditions are often beyond the direct influence of any jurisdiction, efforts can be directed at ensuring the reasonableness of land use controls, development standards, permit-processing, fees and exactions, and governmental requirements to encourage housing production.*

**GOAL 4:** Where appropriate, mitigate unnecessary governmental constraints to the maintenance, improvement, and development of housing.

Policy 4.1 Periodically review the City's regulations, ordinances, fees/exactions to ensure they do not unduly constrain the production, maintenance, and improvement of housing.

Policy 4.2 Offer regulatory incentives and concessions for affordable housing, such as relief from development standards, density bonuses, or fee waivers where deemed to be appropriate.

Policy 4.3 Provide for streamlined, timely, and coordinated processing of residential projects to minimize holding costs and encourage housing production.

Policy 4.4 Support infill development at suitable locations and provide, where appropriate, incentives to facilitate their development.

5. *Promote Housing Opportunities for All Persons Ensuring fair and equal housing opportunity is an important goal. Whether through mediating disputes, investigating bona fide complaints of discrimination, or through the provision of education services, the provision of fair housing services is an important tool to ensure fair and equal access to housing. The following policies are designed to continue implementation of applicable fair housing laws.*

**GOAL 5:** Ensure fair and equal housing opportunity for all persons regardless of race, color, religion, sex, marital status, familial status, ancestry, national origin, age, disability, sexual orientation, source of income, or other arbitrary factors.

Policy 5.1 Provide fair housing services to residents and assure that residents are aware of their rights and responsibilities with respect to fair housing.

Policy 5.2 Discourage discrimination in the sale, rental, or occupancy of housing on the basis of state or federal protected classes.

Policy 5.3 Implement appropriate action items identified in the City's Analysis of Impediments to ensure fair and equal access to housing.

#### **Specific Plan Consistency with the Housing Element**

1. The Specific Plan creates new housing opportunities .
2. Altogether, development in the Specific Plan Area will provide 124 additional detached single-family dwelling units.
3. The development of the Monrovia Nursery property under this Specific Plan will settle the issue of 95 undeveloped acres in the center of an established Glendora neighborhood, thereby it will “Conserve and Improve the Condition of the Existing” residential neighborhood.

#### **■ CIRCULATION ELEMENT**

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##### **City of Glendora General Plan Circulation Element Goals:**

- *An efficient circulation system.*
- *Reduction of vehicle miles traveled (VMT).*
- *Aesthetically pleasing transportation corridors.*
- *Adequate off-street parking and loading facilities.*

##### **City of Glendora General Plan Circulation Element Supporting Objectives**

- *To maintain a level of service (LOS) “C” or better on roads and intersections.*
- *To facilitate the use of alternative transportation modes.*
- *To preserve the community's significant cultural sites.*
- *To have parking and loading facilities which meet minimum development standards.*

### Specific Plan Consistency with the Circulation Element

1. The Specific Plan promotes a circulation system that avoids negative impacts to the surrounding community, and incorporates alternative forms of transportation. New sidewalks are proposed throughout the site to improve overall pedestrian circulation.
2. The proposed Gold Line Foothill Extension will run adjacent to the Specific Plan area. The future Metro Gold Line Citrus Station will be across from the Specific Plan Area and will provide area residents with public transportation connections to other cities and areas in the Los Angeles region.
3. The Specific Plan proposes to improve conditions on existing roads to create more efficient, more safe, and more pleasant neighborhood roadways. The Specific Plan includes significant road and sidewalk improvements to existing streets and incorporates contemporary engineering standards to all new roads.
4. The Specific Plan proposes new roadways to provide efficient circulation.
5. In addition to public transit, the Specific Plan encourages other alternative forms of transportation. Parkway separated sidewalks and a street network that slows or limits traffic through residential areas all help create pedestrian friendly circulation.

### ■ OPEN SPACE ELEMENT

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#### City of Glendora Open Space Element Goals:

*Planning Consideration: The City of Glendora understands the importance of preserving open space and natural resources within and contiguous to the City's boundaries. The City's location, adjacent to United States Forest Service lands, and other significant open space, sensitive habitats and natural systems demonstrates the importance of coordinated efforts. Ensuring the conservation and preservation of these areas and resources within the City through coordination with public and private entities is a priority of the Glendora community.*

#### GOAL 1: Preserve open space resources.

- OSR-1.1 Promote the preservation of open space resources through increased public awareness about the importance of protecting and maintaining natural open space areas.
- OSR-1.2 Promote coordination with public and private entities such as local and regional water districts and utility companies to enhance and preserve open space resources such as an "adopt-a-park" program and/or creating park partnership programs.
- OSR-1.3 Continue to work in conjunction with the Glendora Community Conservancy to investigate open space preservation opportunities.
- OSR-1.4 Investigate opportunities for open space land acquisition for the preservation of natural resources and sensitive habitats.
- OSR-1.5 Continue to partner with the Glendora Community Conservancy to determine funding opportunities for open space land acquisition for the preservation of natural resources and sensitive habitats.
- OSR-1.6 Pursue partnerships with other organizations, such as the United States Forest Service to ensure preservation of natural resources and sensitive habitats.

- *OSR-1.7 Recognize the value of major institutional passive open spaces, such as cemeteries, as important components of the total open space systems and protect their visual character.*
- *OSR-1.8. Support regional and local efforts to acquire, develop, and maintain open space linkages.*
- *OSR-1.9. Consult with regional and sub-regional agencies such as the San Gabriel and Lower Los Angeles Rivers and Mountains Conservancy Master Plan in evaluating new development projects for opportunities for open space conservation where applicable.*
- *OSR-1.10 Develop a land management/ land maintenance plan of City-owned wilderness parks to increase fire safety, minimize potential naturally occurring safety hazards in wilderness park areas, protect biodiversity and native plant species.*
- *OSR-1.11 Create and update best management practices for all of the City's open space resources.*

**Planning Consideration:** *Land use planning should acknowledge the potential environmental challenges associate with growth while it considers opportunities and challenges for rural, hillside development. A balance between the need for preservation and the management of storm water run-off, wildfires, habitat destruction and other sensitive land resources is vital. The City should evaluate policies and programs that would effectively address preservation of foothills/hillsides, while acknowledging the rights of property owners.*

**GOAL 2:** *Coordinated land use and environmental planning.*

- *OSR-2.1 Develop and implement a comprehensive hillside development strategy.*
- *OSR-2.2 Require a constraints analysis for proposed hillside residential development to ensure that significant land and natural resource features are avoided, such as ridgelines, significant watershed areas, tributaries and streams, and rare, threatened or endangered species habitat.*
- *OSR-2.3 Control the grading of land to minimize the potential for erosion, landsliding, and other forms of land failure, as well as to limit the negative aesthetic impact of excessive modification of natural landforms.*
- *OSR-2.4 Encourage residential clustering as a means of preserving open space.*

### **Specific Plan Consistency with the Open Space Element**

1. The Specific Plan identifies the following in the development of the Specific Plan Area: landscaped areas, slope open spaces, detention and water quality basins, street landscaping and trails.
2. A pedestrian trail is an important part of the Specific Plan. The trail will connect the development through to Azusa and the future Metro Gold Line light rail station. The trail will follow along the north side of the railroad.
3. The Specific Plan embraces the area's existing natural features, including the San Gabriel Mountains, and the adjacent rural residential neighborhoods.
4. The detention basin and water quality basins provide additional sources of visual relief. The detention and water quality basins also collect and drain stormwater runoff, which helps to preserve watershed areas.
5. The drainage master plan includes new on-site and off-site storm drain facilities designed to safely manage storm flows and address potential flooding and erosion.



## ■ CONSERVATION ELEMENT

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### WATER CONSERVATION

*Planning Consideration: Water is a limited resource in Southern California. The City of Glendora understands water conservation should be a consideration in future land use planning decisions and everyday activities. Future population growth will increase both water needs and carrying capacity needs. Through the establishment of effective water conservation and reuse programs, the City can contribute to local, regional and state efforts to reduce the demand and use of water resources.*

#### **GOAL 1:** *Protection and conservation of Glendora's water resources.*

- *CON-1.1 Establish a comprehensive program for the utilization of recycled water for irrigation purposes.*
- *CON-1.2 Reduce water demand for irrigation purposes through the utilization of water conserving landscape materials.*
- *CON-1.3 Establish specific requirements for the use of water conserving landscape materials in new development and redevelopment projects, parks and municipal facilities.*
- *CON-1.4 Establish outreach and incentive programs to educate residents on methods of water conservation and to encourage their use.*
- *CON-1.5 Establish methods to analyze water conservation issues when determining the need and development of future parks.*

#### **GOAL 2:** *Utilization of water conservation technologies and practices.*

- *CON-2.1 Establish a comprehensive program for the utilization of recycled water for irrigation purposes.*
- *CON-2.2 Reduce water demand for irrigation purposes through the utilization of water-conserving landscape materials.*
- *CON-2.3 Establish specific requirements for the use of water conserving landscape materials in new development and redevelopment projects, parks and municipal facilities.*
- *CON-2.4 Establish and implement water conservation methods for all municipal facilities.*

#### **GOAL 3:** *Effective and well-maintained water infrastructure system.*

- *CON-3.1 Ensure the City's Water Master Plan provides an accurate projection of future water demand and conveyance.*
- *CON-3.2 Ensure existing water infrastructure systems are properly maintained.*
- *CON-3.3 Ensure infrastructure for new development is limited to serving properties within the planning area or water service area.*

**Planning Consideration:** *The City of Glendora understands that future population growth will increase wastewater and energy demand as well as solid waste generation. Glendora understands that effective strategies of source reduction and conservation will lessen the impacts of population increases on wastewater, solid waste and energy demand.*

**GOAL 4:** *Adequate conveyance and disposal of wastewater.*

- *CON-4.1 Ensure the wastewater infrastructure system within the City is effective and adequately maintained.*
- *CON-4.2 Ensure new development and redevelopment projects adequately analyze potential impacts to the existing wastewater infrastructure system.*
- *CON-4.3 Incorporate project-level stormwater mitigation measures to reduce potential impacts to water quality and ensure mitigation measures are adequately monitored.*
- *CON-4.4 Establish programs to educate residents regarding impacts of stormwater runoff on water quality and provide a variety of opportunities for Glendora residents to dispose of hazardous materials.*
- *CON-4.5 Protect the planning area from unnecessary stormwater run-off from outside the planning area that would have the potential to require additional stormwater conveyance or treatment facilities maintained by the City.*
- *CON-4.6 Ensure new development and redevelopment projects adequately analyze potential impacts to the existing wastewater infrastructure system.*
- *CON-4.7 Protect the planning area from the conveyance of wastewater from outside the planning area that would have the potential to require additional wastewater conveyance or treatment facilities.*

**GOAL 5:** *Reduced demand for energy resources through the use of conservation techniques.*

- *CON-5.1 Investigate and implement opportunities for energy conservation at all City-maintained facilities.*
- *CON-5.2 Encourage the incorporation of energy conservation features in the design of all new construction and substantial rehabilitation projects and encourage the installation of conservation devices in existing developments.*
- *CON-5.3 Encourage private energy conservation programs that minimize high energy demand and that use alternative energy sources.*
- *CON-5.4 Require all new developments to incorporate energy-efficient lighting, heating, and cooling systems pursuant to the Uniform Building Code.*
- *CON-5.5 Provide education and outreach to residents and businesses on opportunities to decrease energy consumption.*

**GOAL 6:** *Reduced generation of solid waste within Glendora.*

- *CON-6.1 Provide education and outreach to residents and businesses to encourage their involvement in source reduction and recycling.*
- *CON-6.2 Continue to work towards fulfilling the requirements established in the California Integrated Waste Management Act for the diversion of solid waste.*
- *CON-6.3 Establish a tree master plan to expand the urban forest throughout the City.*
- *CON-6.4 Ensure appropriate placement and proper maintenance of tree resources within the City.*

**GOAL 7:** *: A comprehensive citywide landscape strategy.*

- CON-7.1 *Establish a cohesive landscape plan to ensure consistent landscaping throughout the City.*
- CON-7.2 *Establish specific requirements for consistent landscaping in new development and redevelopment projects, parks and municipal facilities.*

#### STORMWATER POLLUTION

*Planning Consideration: The potential environmental impacts of stormwater runoff are a significant concern to Glendora residents. Stormwater runoff can carry pollutants into the watershed, negatively affecting local and regional water quality. Maintenance and improvement of the City's stormwater system to reduce potential impacts to water quality should be a priority.*

**GOAL 8:** *Proper conveyance and treatment of stormwater and implementation of techniques to reduce pollutants consistent with Federal, State and regional regulations and standards.*

- CON-8.1 *Ensure existing drainage facilities are properly maintained.*
- CON-8.2 *Ensure all new development and redevelopment projects comply with Federal, State, regional and City regulations and ordinances related to stormwater.*
- CON-8.3 *Incorporate project-level stormwater mitigation measures to reduce potential impacts to water quality and ensure mitigation measures are adequately monitored.*
- CON-8.4 *Establish programs to educate residents regarding impacts of stormwater runoff on water quality and provide a variety of opportunities for Glendora residents to dispose of hazardous materials.*
- CON-8.5 *Continue to support regional and State efforts in controlling point and non-point sources of water pollution.*
- CON-8.6 *Investigate the potential to create city or multi-jurisdictional facilities which remove or reduce stormwater pollutants.*

#### CONSERVATION AND PRESERVATION OF SENSITIVE LANDS

*Planning Consideration: The City's residents acknowledge the importance of conserving the City's open space and natural resources for the benefit of community residents, and the region. Glendora's location adjacent to United States Forest Service lands, as well as the variety of other sensitive habitats and natural systems within and contiguous to the community should be acknowledged in land use planning efforts. With planning and action to protect tributaries and ridgelines, sustainable and long-term results from healthy native species of plants and wildlife may be anticipated.*

**GOAL 9:** *Preservation and conservation of natural resources and sensitive habitats.*

- CON-9.1 *Investigate opportunities for open space land acquisition for the preservation of natural resources and sensitive habitats.*
- CON-9.2 *Continue to partner with the Glendora Community Conservancy to determine funding opportunities for open space land acquisition for the preservation of natural resources and sensitive habitats.*

- CON-9.3 Pursue partnerships with other organizations, such as the United States Forest Service to ensure preservation of natural resources and sensitive habitats.
- CON-9.4 Ensure the preservation of the natural plant communities in the hillside areas.
- CON-9.5 Ensure land use decisions consider the preservation of sensitive plant and animal species, critical habitat, wildlife corridors and biologically sensitive areas.
- CON-9.6 Develop a land management/ land maintenance plan, including best management practices, of City-owned conservation areas to increase fire safety, protect biodiversity and preserve native plant species.
- CON-9.7 Ensure preservation of local watersheds in development to maintain native plant habitats and ensure connectivity of wildlife corridors.

#### PRESERVATION AND ENHANCEMENT OF LANDSCAPE RESOURCES

*Planning Consideration: The City of Glendora is proud of its naturally landscaped hillsides and its mature residential and commercial landscapes. Preservation, enhancement, care and maintenance of these important landscape resources will continue providing a positive contribution to the quality and character of Glendora.*

#### **GOAL 10:** A tree preservation strategy.

- CON-10.1 Involve residents in the maintenance and preservation of individual trees by providing them with a choice of trees planted.
- CON-10.2 Maintain the tree preservation ordinance to ensure the preservation of existing tree resources.
- CON-10.3 Establish a tree master plan to expand the urban forest throughout the City.
- CON-10.4 Ensure appropriate placement and proper maintenance of tree resources within the City.

#### **Specific Plan Consistency with the Conservation Element**

1. The Specific Plan promotes conservation of natural resources.
2. The series of water quality facilities planted with riparian habitat designed to foster groundwater recharge and biofiltration to remove urban pollutants from the storm runoff.
3. Development of the Specific Plan property will replace the undeveloped nature of the existing property, which will reduce the amount of Particulate Matter 10 microns (PM10) currently released from the Nursery site. The South Coast Air Basin is designated as a non-attainment area for PM10 because of noncompliance with the State and Federal Clean Air Acts. Therefore, development of the Specific Plan property has the potential to reduce PM10 emissions.

#### ■ SAFETY AND NOISE ELEMENTS ---

#### **City of Glendora Safety and Noise Element Goals:**

*Planning Consideration: The most significant contributors to noise impacts are generated from transportation sources. The City of Glendora seeks to minimize the noise impacts associated with transportation to the greatest extent feasible. Minimizing these impacts requires the evaluation of existing noise sources and coordination of appropriate mitigation through design and policy considerations.*



**GOAL 1:** *Reduced noise impacts from transportation sources.*

- *N-1.1 Ensure traffic noise mitigation measures are included and implemented in the design of new development.*
- *N-1.2 Encourage the State Department of Transportation (Caltrans) to continue programs that lead to the reduction of the noise levels on I-210.*
- *N-1.3 Limit construction, delivery, and through truck traffic to designated routes.*
- *N-1.4 Mitigate transportation equipment impacts at construction sites.*

#### **NON-TRANSPORTATION NOISE IMPACTS**

*Planning Consideration: Non-transportation noise sources, including those generated from commercial/industrial activities, construction equipment and various community activities, have the potential of introducing undesirable impacts within the City. Development policy and regulatory standards should consider the reduction of these non-transportation noise impacts and mitigate them to a less than significant level.*

**GOAL 2:** *Reduced noise impacts from non-transportation sources.*

- *N-2.1 Review and update the Noise Ordinance, on a regular basis, to ensure noise-generating uses are adequately addressed.*
- *N-2.2 Strive to resolve existing and potential conflicts between noise generating uses and human activities.*
- *N-2.3 Prohibit significant noise generating activities from locating adjacent to residential neighborhoods and near schools.*
- *N-2.4 Ensure that construction noise does not cause an adverse impact to the residents of the City by requiring that noise mitigation techniques be incorporated into all construction-related activities.*
- *N-2.5 Consider developing maximum noise standards for ventilation systems (i.e., air conditioning units) in residential areas.*

#### **COORDINATION WITH LAND USE PLANNING**

*Planning Consideration: Land use planning has a direct relationship with objectionable noise. The location and type of land uses should consider the potential noise impacts generated. Therefore, the evaluation of potential noise generation should be a consideration in all land use decisions.*

**GOAL 3:** *Coordinated land use planning and noise mitigation.*

*Policies N-3.1 Ensure Community Noise Equivalent Levels (CNEL) levels for noise sensitive land uses meet or exceed normally acceptable levels, as defined by State of California standards.*

- *N-3.2 Enforce all noise standards as outlined in the City's Noise Ordinance.*
- *N-3.3 Enforce limits set by the State of California to control noise levels, particularly those governing motor vehicles.*
- *N-3.4 Ensure that all new development is consistent with exterior and interior noise standards.*
- *N-3.5 Incorporate noise reduction measures into all development proposals, as necessary.*

- *N-3.6 Consider noise impacts associated with the development of non-residential uses in the vicinity of residential uses.*
- *N-3.7 Require acoustical materials in all new residential and commercial developments where noise levels exceed the compatibility standards outlined in the Noise Element.*
- *N-3.8 Encourage the use of double-paned windows for residential uses adjacent to the freeways and along major arterials.*
- *N-3.9 Encourage programs to retrofit existing homes to reduce noise impacts in the homes.*

#### **Specific Plan Consistency with the Safety and Noise Elements**

1. The Specific Plan EIR, which assesses noise impacts and seismic, geologic, and geotechnical investigation addresses the following:
  - The liquefaction hazard analysis includes recommendations to remove topsoil in selected areas to minimize potential liquefaction hazards.
  - The homes in the Specific Plan Area will be buffered and setback from the future Gold Line rail line to reduce noise and vibration from trains.
  - Noise impact studies and noise contour maps suggest that the Specific Plan is compliant to the City's noise/land use compatibility guidelines.
  - The Specific Plan provides for on-site and off-site drainage improvements, a detention basin, and a series of other water quality facilities to minimize impacts from flooding.

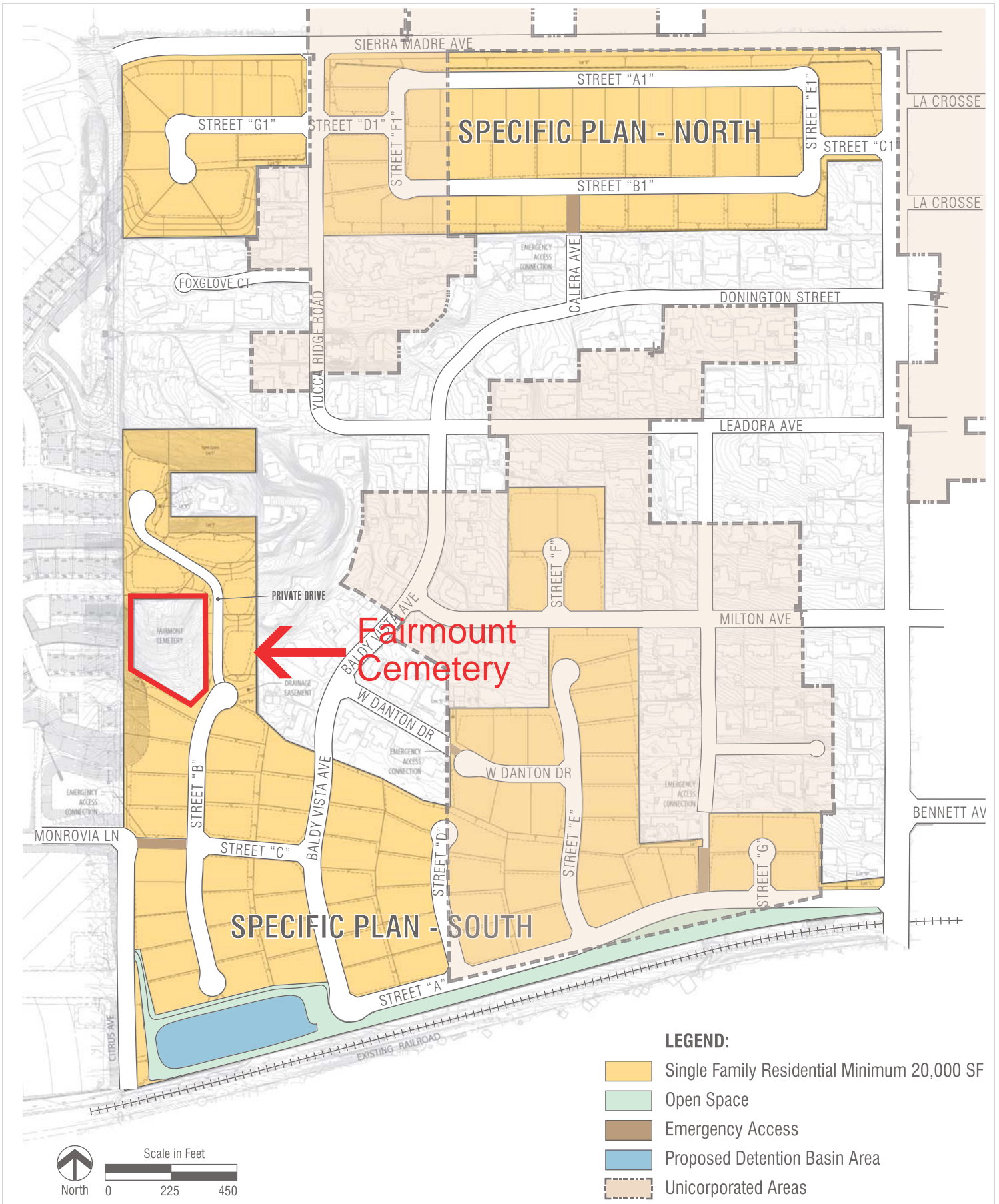
Appendix 2

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Fairmount Cemetery

APX 2

■ MASTER PLAN





### **Specific Plan Consistency with The Fairmount Cemetery Agreements**

The Specific Plan design takes into account known, executed, and directly applicable agreements regarding The Fairmount Cemetery as of July 2010. The Specific Plan includes provisions for a development-free “buffer” on the perimeter of The Fairmount Cemetery to account for potential imprecise burials, and a design that provides parking.

Should future agreements and covenants prompt modifications to this Specific Plan they shall adhere to the provisions of this Specific Plan, or the Specific Plan will have to be modified in accordance with the procedures of the City of Glendora.

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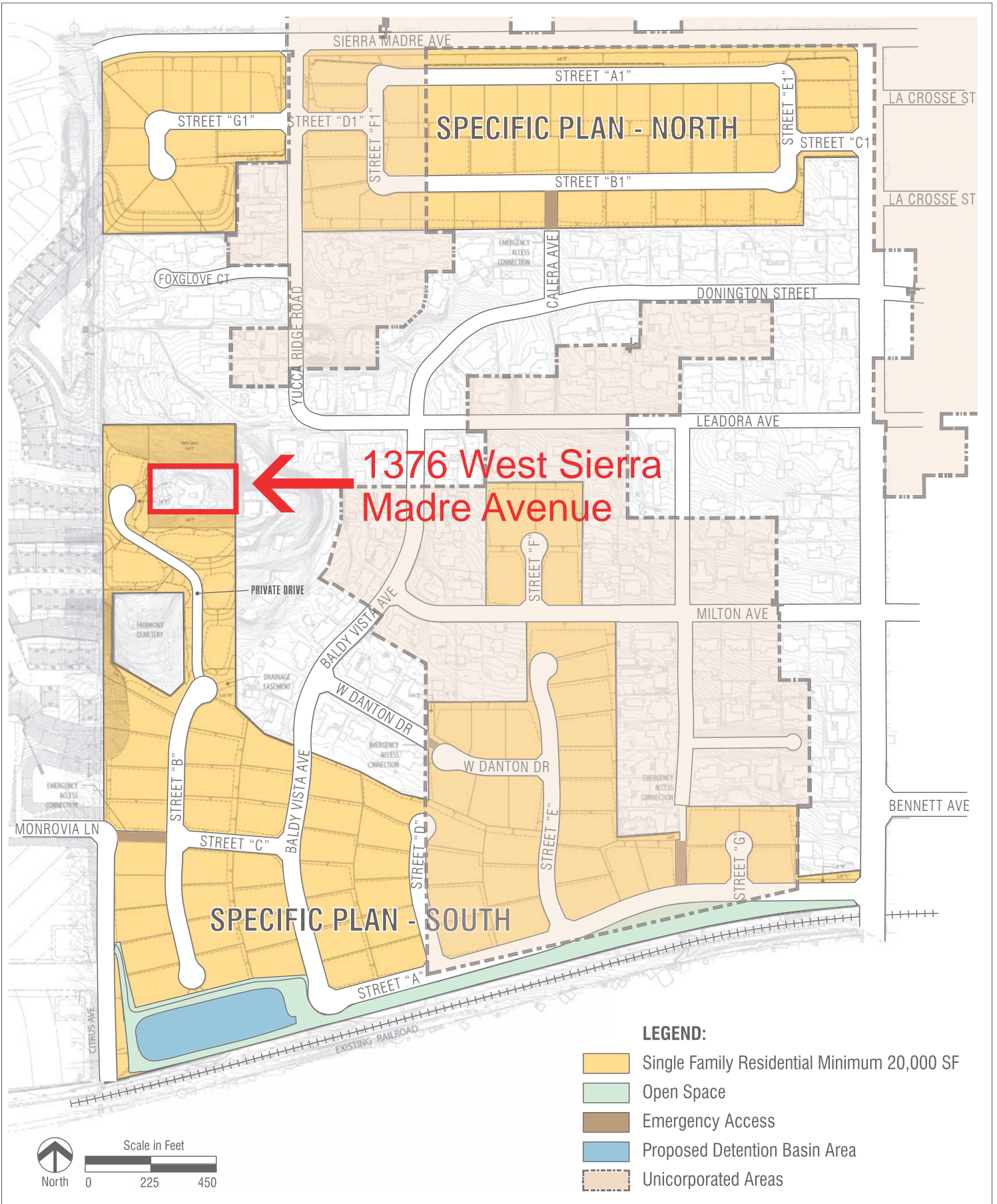
Appendix 3

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Private Agreements

APX 3

■ MASTER PLAN





### **Specific Plan Consistency with Private Agreements**

The Specific Plan design takes into account known, executed, and directly applicable private agreements regarding the property at 1376 West Sierra Madre Avenue as of July 2010. The Specific Plan includes a concept for a driveway to this residence from the Private Drive.

Should future agreements and covenants prompt modifications to this Specific Plan they shall adhere to the provisions of this Specific Plan, or the Specific Plan will have to be modified in accordance with the procedures of the City of Glendora.

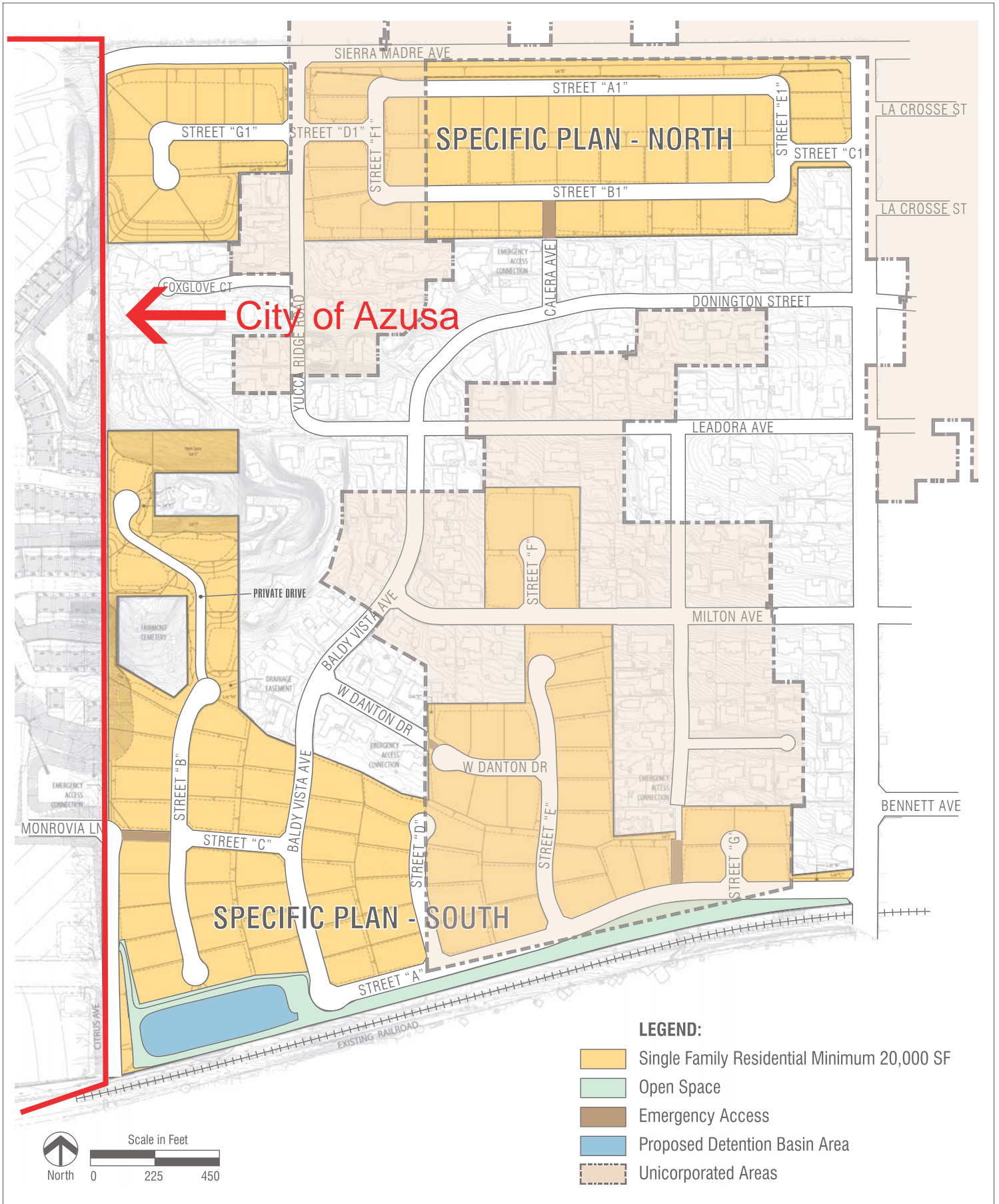
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Appendix 4  

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City of Azusa Agreements

APX 4





### **Specific Plan Consistency with City of Azusa Agreements**

The Specific Plan design takes into account known, executed, and directly applicable agreements regarding the City of Azusa as of July 2010. Should future agreements and covenants prompt modifications to this Specific Plan they shall adhere to the provisions of this Specific Plan, or the Specific Plan will have to be modified in accordance with the procedures of the City of Glendora.

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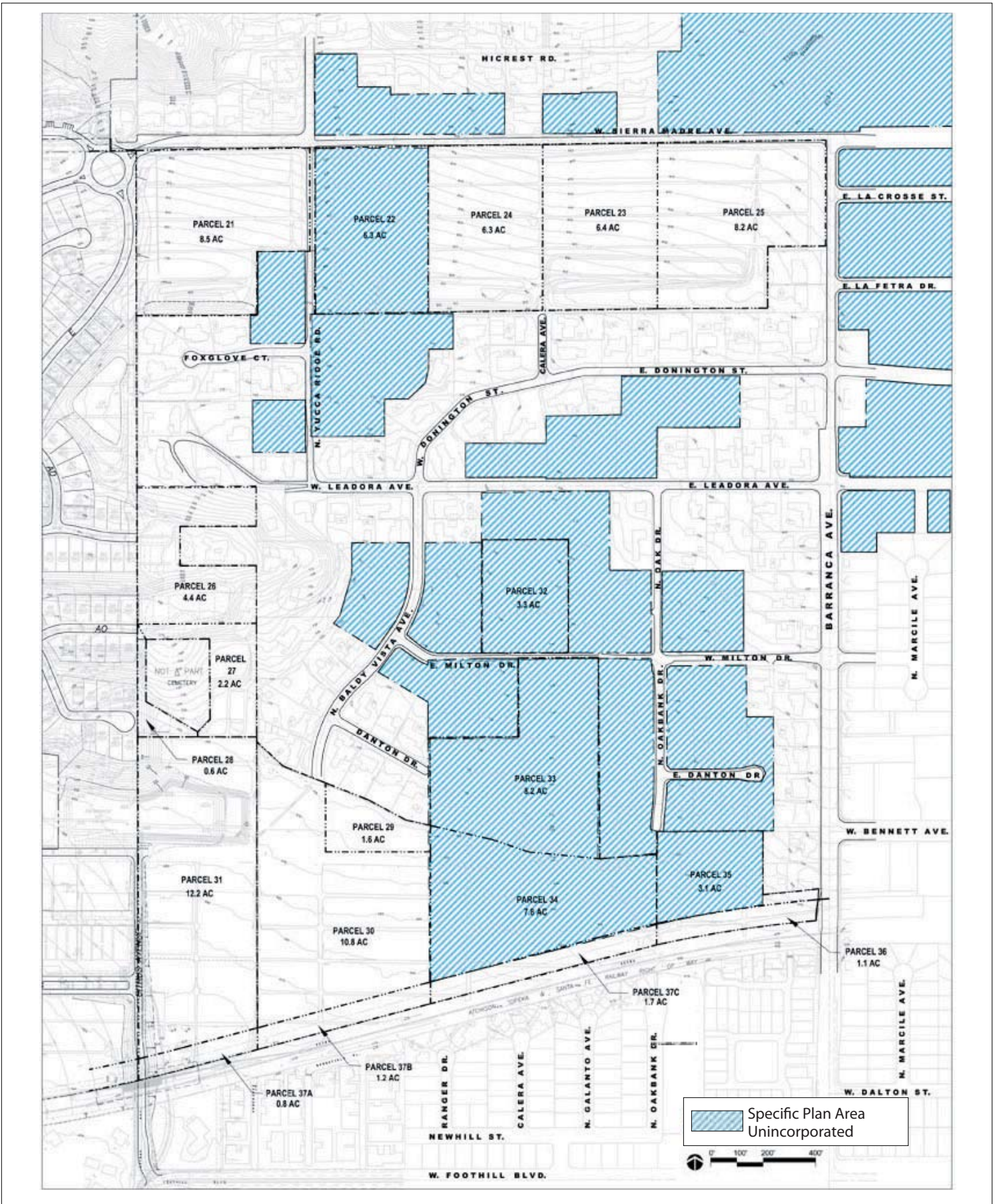
Appendix 5  

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Annexation

# APX 5

■ UNINCORPORATED LANDS IN THE VICINITY OF THE SPECIFIC PLAN



SOURCE: *Monrovia Nursery Specific Plan - A Plan For Glendora*, March 31, 2006 - EDAW, inc.



**Annexation**

All properties in the Specific Plan area that are not in the City of Glendora will be annexed into the City of Glendora prior to development.